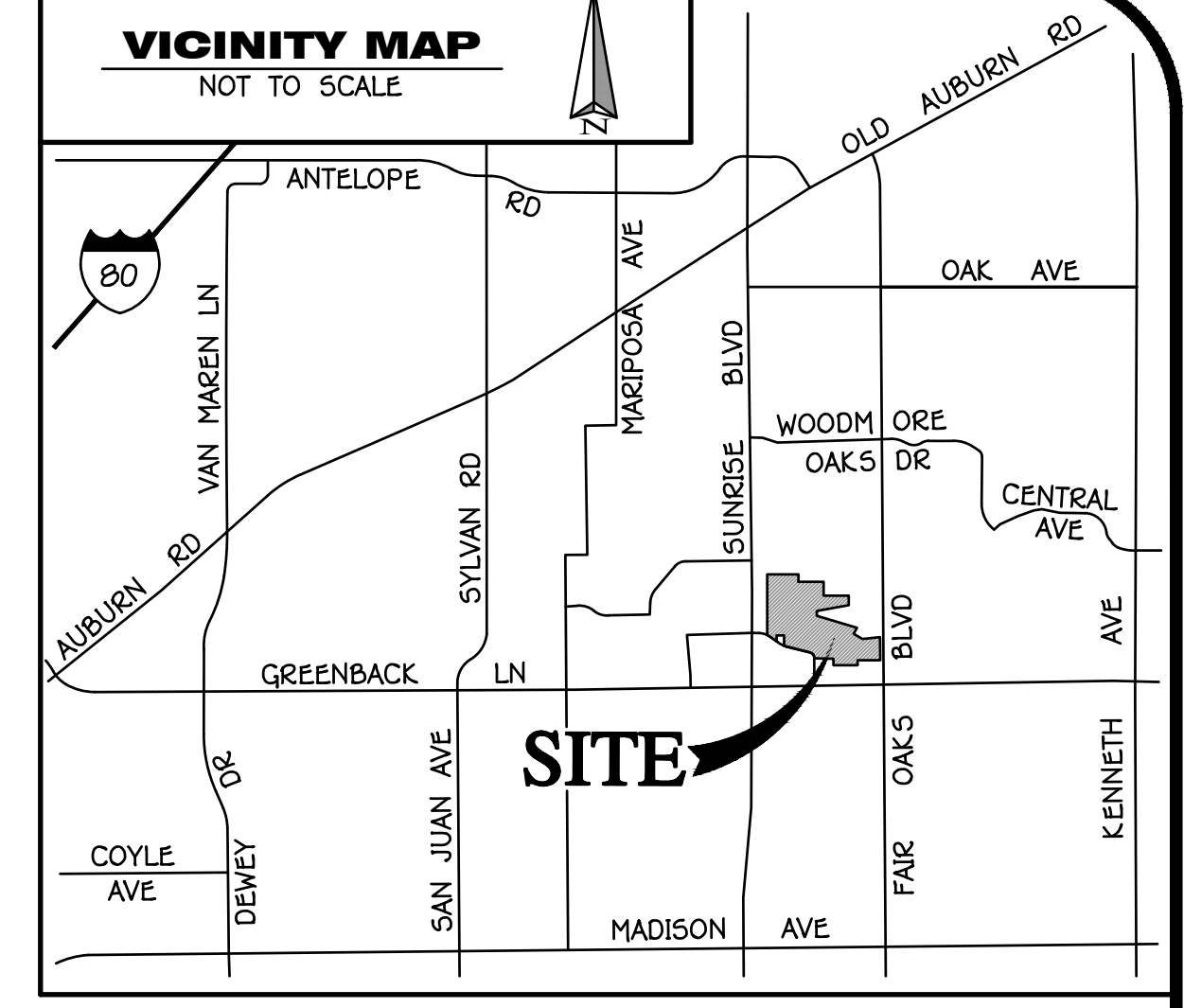
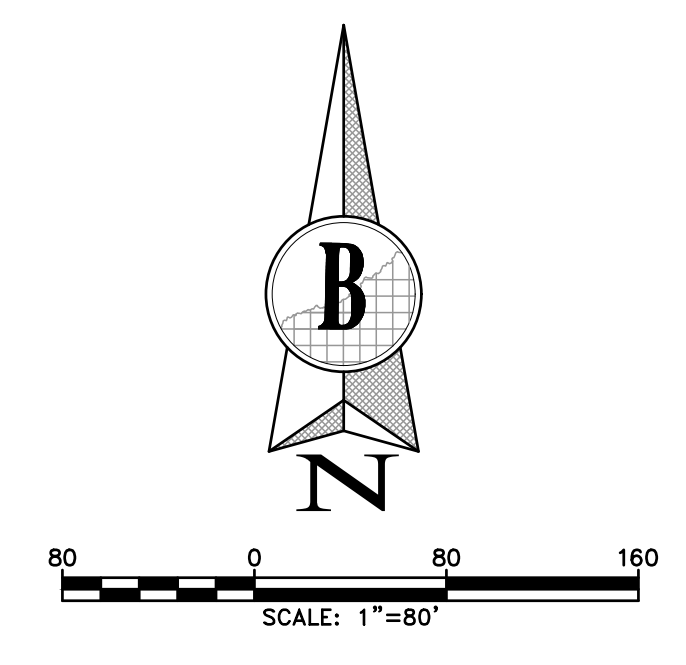


TENTATIVE SUBDIVISION MAP FOR MITCHELL FARMS COVER SHEET

CITY OF CITRUS HEIGHTS

CALIFORNIA

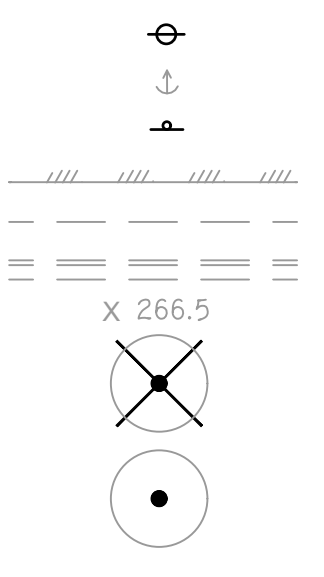


ABBREVIATIONS

- AC ASPHALTIC CONCRETE
- ARV AIR RELEASE VALVE
- B BOLLARD
- BOV BLOW OFF VALVE
- CLF CHAIN LINK FENCE
- CPB CABLE PULL BOX
- ESMT EASEMENT
- DMH DRAIN MANHOLE
- D DRAIN
- EVT ELECTRICAL VAULT
- IPB IRRIGATION PULL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- S SETBACK
- SBL SEWER MANHOLE
- SMH SEWER CLEANOUT
- SCO SEWER CLEANOUT
- TMH TELEPHONE MANHOLE
- TSPB TRAFFIC SIGNAL PULL BOX
- TVLT TELEPHONE VAULT

LEGEND

- CENTERLINE ————
- RIGHT OF WAY LINE ————
- BOUNDARY LINE ————
- FLOW LINE ————
- OVERHEAD LINE ————
- ELECTRICAL LINE ————
- GAS LINE ————
- JOINT TRENCH ————
- PROPOSED LOT LINE ————
- EASEMENT LINE ————
- 100-YR FLOODPLAIN ————
- CREEK SETBACK LINE ————
- UTILITY POLE ————
- GUY WIRE ————
- SIGN ————
- EDGE OF PAVEMENT ————
- SIDEWALK, CURB AND GUTTER ————
- SPOT ELEVATION ————
- TREE TO BE REMOVED ————
- TREE TO REMAIN ————



EXISTING TREES NOTE:

ALL EXISTING TREES SURVEYED AND SHOWN NUMBERED MATCH EXISTING ARBORIST REPORT PREPARED BY "ABACUS", KENNETH MENZER, A CERTIFIED ARBORIST, REPORT TITLE "MITCHELL FARMS", ABACUS JOB NO: AJN16-07, DATED SEPTEMBER 20, 2016.

EXISTING EASEMENTS NOTE:

SEE EXISTING EASEMENTS EXHIBIT PREPARED BY BURRELL CONSULTING GROUP FOR IDENTIFICATION OF EACH EASEMENT SHOWN ON THIS TENTATIVE SUBDIVISION MAP.

SHEET INDEX

| | |
|---------|---------------|
| SHEET 1 | COVER SHEET |
| SHEET 2 | VILLAGE 1 & 4 |
| SHEET 3 | VILLAGE 2 |
| SHEET 4 | VILLAGE 3 |
| SHEET 5 | VILLAGE 5 |

UNIT MATRIX

| | 50'X80' LOTS | PASEO LOTS | PATIO LOTS |
|------------|--------------|------------|------------|
| VILLAGE 1 | 26 | - | - |
| VILLAGE 2 | - | - | 28 |
| VILLAGE 3 | 52 | - | - |
| VILLAGE 4 | - | - | 44 |
| VILLAGE 5 | - | 110 | - |
| SUB-TOTAL | 78 | 110 | 72 |
| TOTAL LOTS | 260 | | |

OPEN SPACE LOTS

| HOA LOTS | PARKS |
|----------|-----------------|
| LOT C | LOT A, 11.1 AC. |
| LOT D | LOT B, 9.8 AC. |
| LOT F | |
| LOT H | |
| LOT J | |
| LOT L | |
| LOT O | |
| LOT P | |
| LOT S | |
| LOT U | |
| LOT W | |
| LOT X | |
| LOT AA | |
| LOT AC | |
| LOT AE | |
| LOT AG | |
| LOT AJ | |
| LOT AO | |
| LOT AP | |
| LOT AQ | |
| LOT AR | |
| LOT AS | |
| LOT AT | |
| LOT AU | |
| LOT AV | |
| LOT AW | |
| LOT AX | |

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PHASING

FINAL MAPPING MAY OCCUR IN PHASES. MULTIPLE FINAL MAPS MAY BE RECORDED BASED ON THIS TENTATIVE MAP.

GENERAL NOTES

- ASSESSORS PARCEL NUMBER: 243-0070-030, 243-0082-001,002,019, 021,023,028, AND 243-0480-013,014, 015,016,019,020,021,025,033.
- EXISTING GENERAL PLAN: GC, HDR, & OS
- PROPOSED GENERAL PLAN: MDR & OS
- EXISTING ZONING: RD30(PD), RD30, CR, LC, & SC
- PROPOSED ZONING: SPA & O
- EXISTING LAND USE: GENERAL COMMERCIAL, HIGH DENSITY RESIDENTIAL, & OPEN SPACE
- PROPOSED USE: RESIDENTIAL & OPEN SPACE
- OWNER: MITCHELL/SIPPOLA LIMITED PARTNERSHIP
P.O. BOX 568
LOOMIS, CA 95650
ATTN: THEODORE C. MITCHELL
- APPLICANT: HARRISON, TEMBLADOR, HUNGERFORD & JOHNSON
980 9TH STREET, SUITE 1400
SACRAMENTO, CA 95814
ATTN: DAVID T. TEMBLADOR, ESQ.
TEL: (916) 706-2639
EMAIL: DTEMBLADOR@HTHLAW.COM
- DEVELOPER: WATT COMMUNITIES
2400 PROFESSIONAL DRIVE, SUITE 200
ROSEVILLE, CA 95661
ATTN: KEVIN S. WEBB
TEL: (916) 792-7900
EMAIL: KWEBB@WATTCOMPANIES.COM
- SURVEYOR/ENGINEER: BURRELL CONSULTING GROUP, INC.
1001 ENTERPRISE WAY,
ROSEVILLE, CA 95678
ATTN: JERRY A. APLASS, PLS/PE
TEL: (916) 783-8898
EMAIL: JAPLASS@BURRELLCG.COM
- UTILITY DISTRICTS:
SEWER: SACRAMENTO AREA SEWER DISTRICT
ELECTRIC: SACRAMENTO MUNICIPAL UTILITY DISTRICT (SMUD)
GAS: PACIFIC GAS & ELECTRIC (PG&E)
TELEPHONE: AT&T / COMCAST
DRAINAGE: SACRAMENTO COUNTY
WATER: CITRUS HEIGHTS WATER DISTRICT
- LAND AREA: 55.70+ ACRES GROSS
- NUMBER OF EXISTING LOT: 16
- NUMBER OF PROPOSED LOTS: 260 SINGLE FAMILY RESIDENTIAL (SEE PLAN FOR OPEN SPACE, LANDSCAPE, AND PRIVATE DRIVES LOTS)

BENCHMARK

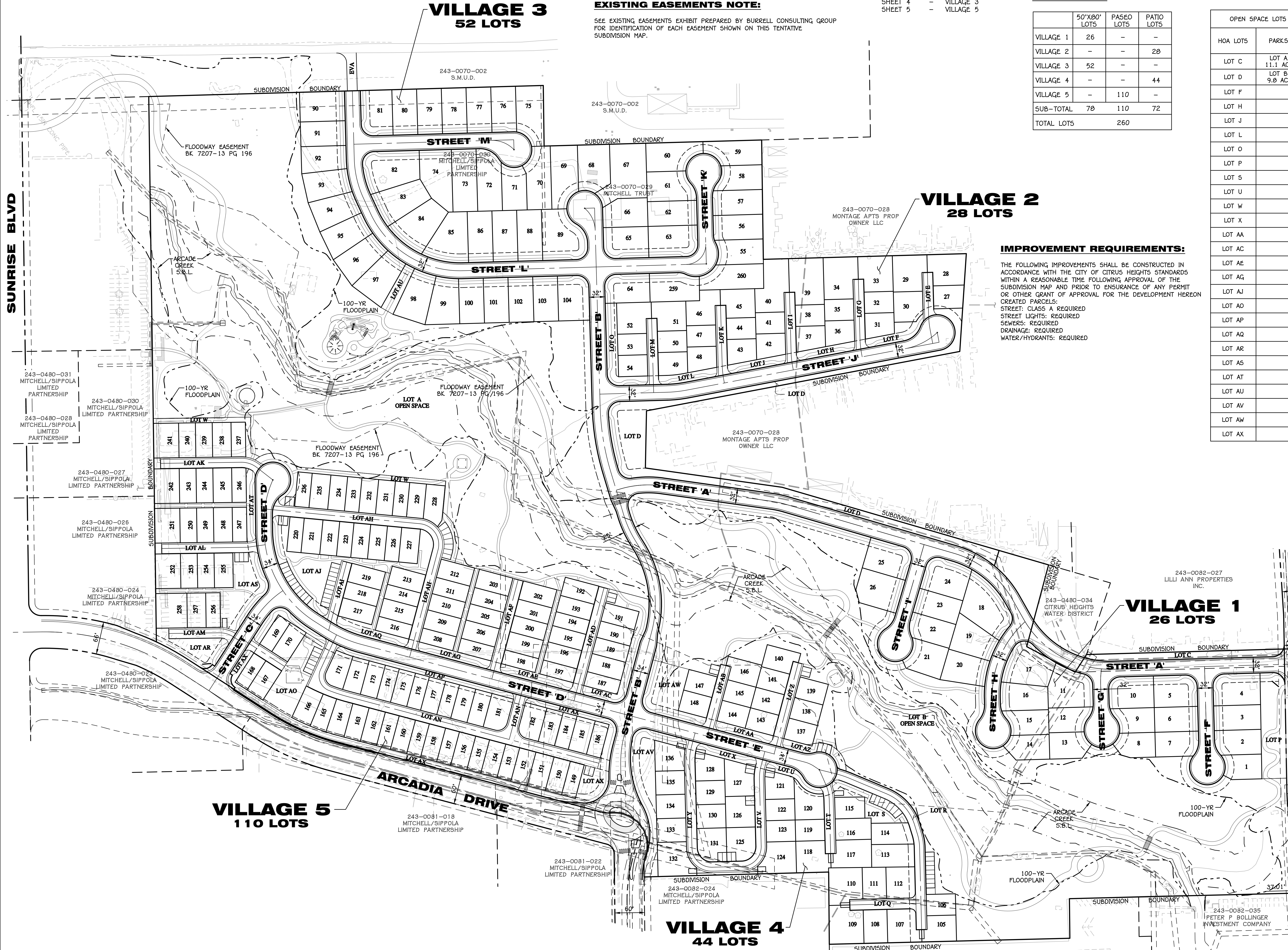
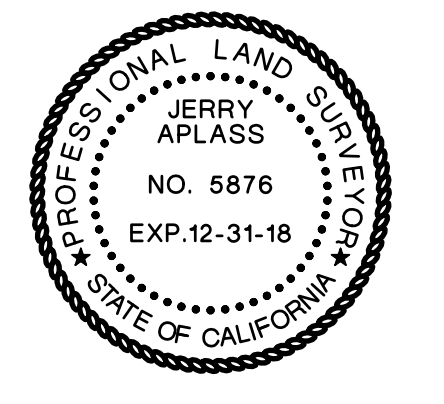
ELEVATION = 173.75' DATUM = NAVD 88
COUNTY OF SACRAMENTO BENCHMARK 09-067
2" BRONZE DISC STAMPED "SACRAMENTO CO. DEPT. OF PUBLIC WORKS B.M. 9-67 T. LEE 1969" LOCATED IN TOP OF EAST EDGE OF WEST CONCRETE WALK OF DOUBLE BOX CULVERT WEST SIDE OF SUNRISE BLVD. 0.40 NORTH OF GREENBACK LANE AT ARCADE CREEK.

SURVEYOR'S STATEMENT

PREPARED UNDER THE DIRECTION OF:

JERRY APLASS PLS 5876
EXP. DATE : DEC. 31, 2018

DATE



SUNRISE BLVD

FAIR OAKS BLVD

TENTATIVE SUBDIVISION MAP FOR
MITCHELL FARMS
SHEET 1 OF 5

BURRELL CONSULTING GROUP, INC.
1001 Enterprise Way, Suite 100 Roseville, CA 95678 (916) 783-8898
BURRELL JOB: 1978-00-1137

BURRELL CONSULTING GROUP, INC. IS AN EQUAL OPPORTUNITY EMPLOYER. MINORITY AND FEMALE OWNERSHIP AND CONTROL IS ENCOURAGED. THE COMPANY DOES NOT DISCRIMINATE ON THE BASIS OF RACE, ETHNICITY, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, AGE, OR SEX. THE COMPANY DOES NOT DISCRIMINATE ON THE BASIS OF SEXUAL ORIENTATION OR GENDER IDENTIFICATION. THE COMPANY DOES NOT DISCRIMINATE ON THE BASIS OF MARITAL STATUS, PREGNANCY, OR FAMILY STATUS. THE COMPANY DOES NOT DISCRIMINATE ON THE BASIS OF VETERAN STATUS. THE COMPANY DOES NOT DISCRIMINATE ON THE BASIS OF DISABILITY. THE COMPANY DOES NOT DISCRIMINATE ON THE BASIS OF GENETIC INFORMATION. THE COMPANY DOES NOT DISCRIMINATE ON THE BASIS OF AN INDIVIDUAL'S STATUS AS A VICTIM OF DOMESTIC VIOLENCE, STalking, OR SEXUAL ASSAULT. THE COMPANY DOES NOT DISCRIMINATE ON THE BASIS OF AN INDIVIDUAL'S STATUS AS A VICTIM OF INTERPERSONAL DOMESTIC VIOLENCE, STalking, OR SEXUAL ASSAULT. THE COMPANY DOES NOT DISCRIMINATE ON THE BASIS OF AN INDIVIDUAL'S STATUS AS A VICTIM OF INTERPERSONAL DOMESTIC VIOLENCE, STalking, OR SEXUAL ASSAULT.

TENTATIVE SUBDIVISION MAP FOR
MITCHELL FARMS
 VILLAGE 1 & 4

CITY OF CITRUS HEIGHTS

CALIFORNIA

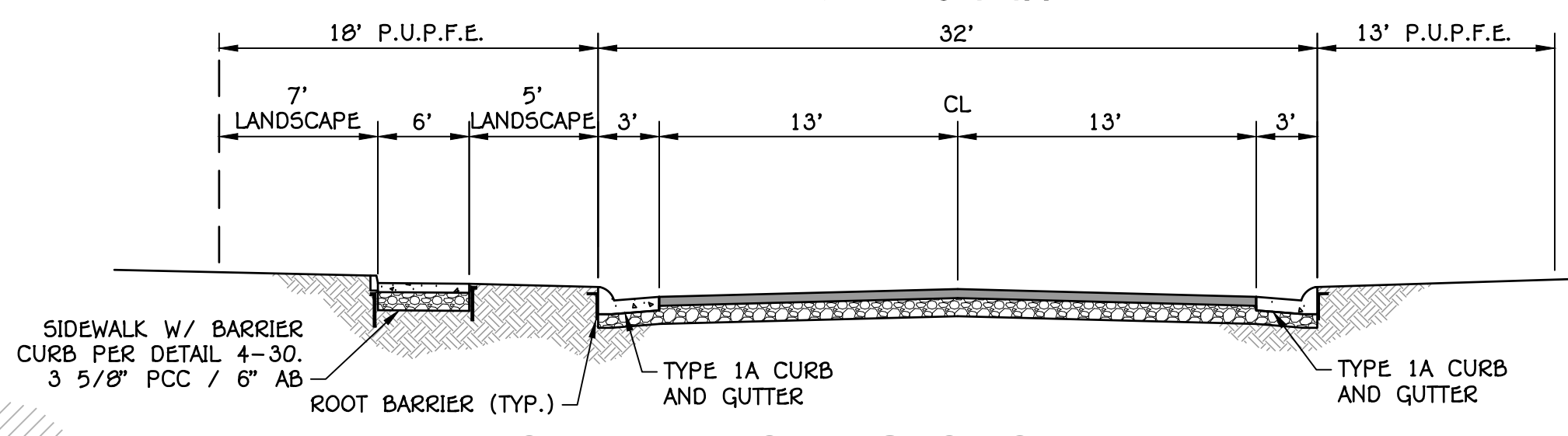
EXISTING TREES NOTE:

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EXISTING EASEMENTS NOTE:

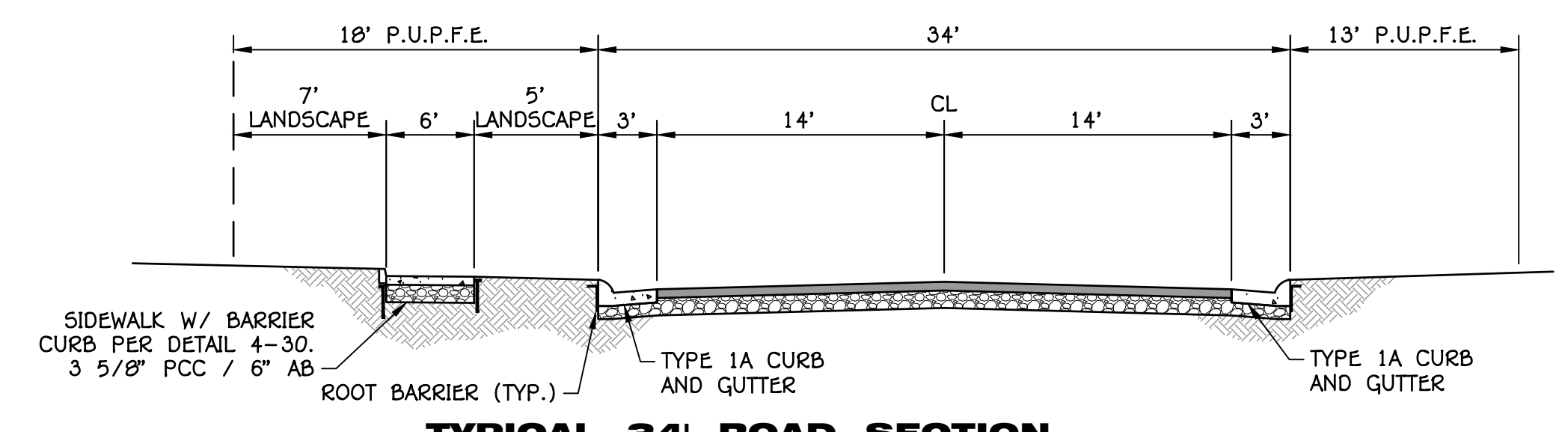
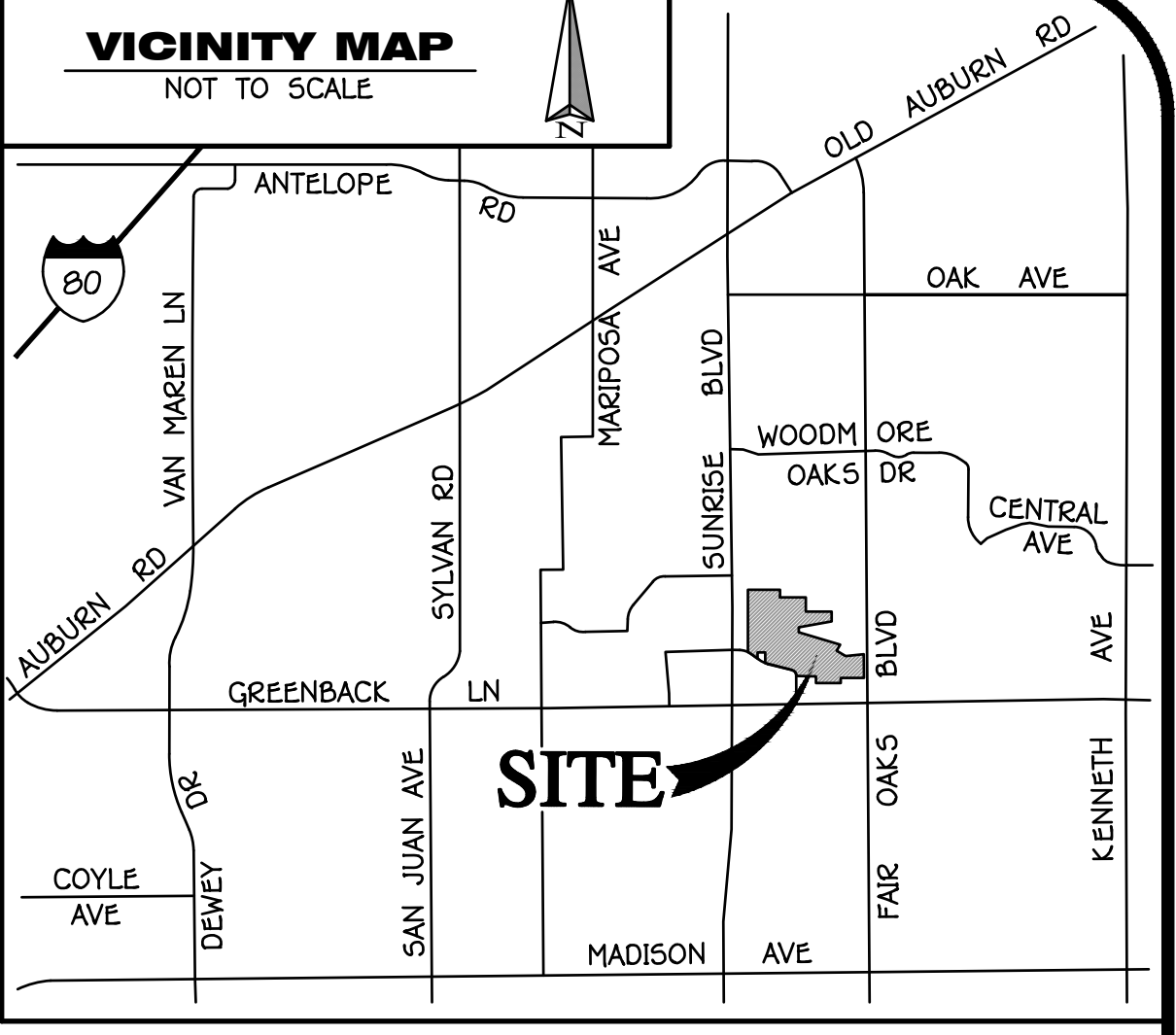
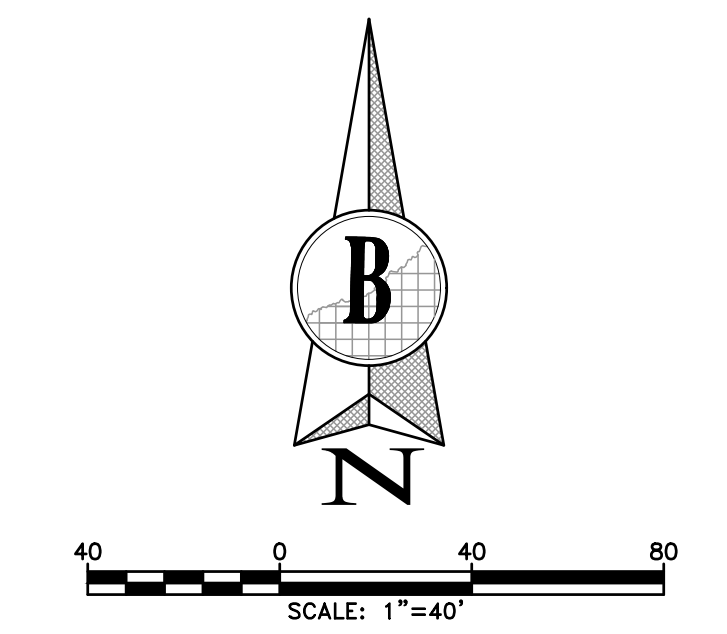
SEE EXISTING EASEMENTS EXHIBIT PREPARED BY BURRELL CONSULTING GROUP FOR IDENTIFICATION OF EACH EASEMENT SHOWN ON THIS TENTATIVE SUBDIVISION MAP.

(SEE SHEET 3)



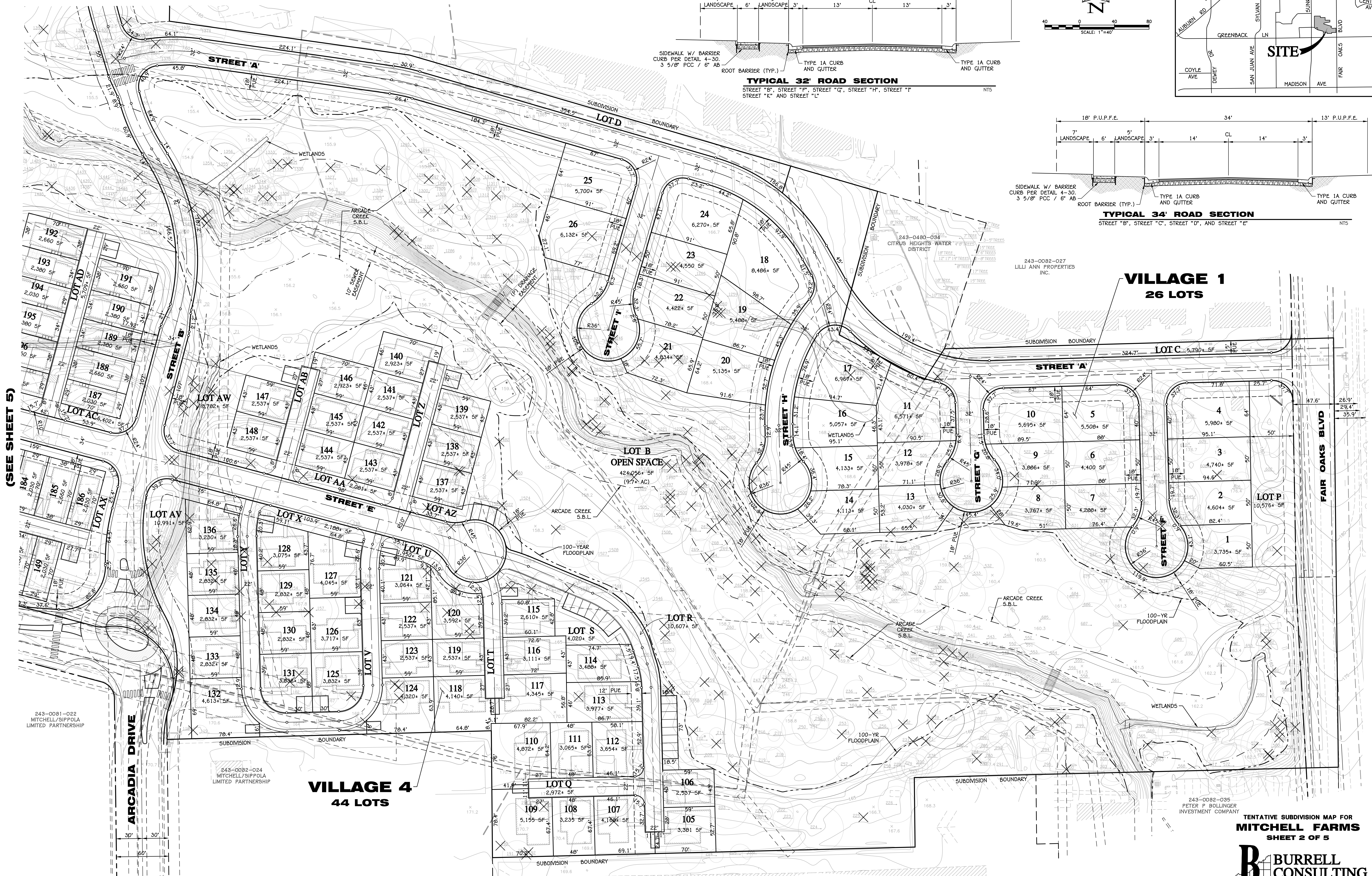
TYPICAL 32' ROAD SECTION

STREET "B", STREET "F", STREET "G", STREET "H", STREET "I", STREET "K", AND STREET "L" NTS



TYPICAL 34' ROAD SECTION

STREET "B", STREET "C", STREET "D", AND STREET "E" NTS



VILLAGE 1
 26 LOTS

VILLAGE 4
 44 LOTS

TENTATIVE SUBDIVISION MAP FOR
MITCHELL FARMS
 SHEET 2 OF 5

B BURRELL CONSULTING GROUP, INC.
 1001 Enterprise Way, Suite 100 Roseville, CA 95678 (916) 783-8898

ALL INFORMATION ON THIS MAP IS BASED ON THE RECORDS OF THE CITY OF CITRUS HEIGHTS AND THE RECORDS OF THE COUNTY OF SACRAMENTO, CALIFORNIA. THE CITY OF CITRUS HEIGHTS AND THE COUNTY OF SACRAMENTO, CALIFORNIA, ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION ON THIS MAP. THE CITY OF CITRUS HEIGHTS AND THE COUNTY OF SACRAMENTO, CALIFORNIA, ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION ON THIS MAP. THE CITY OF CITRUS HEIGHTS AND THE COUNTY OF SACRAMENTO, CALIFORNIA, ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION ON THIS MAP.

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TENTATIVE SUBDIVISION MAP FOR MITCHELL FARMS VILLAGE 2

CITY OF CITRUS HEIGHTS

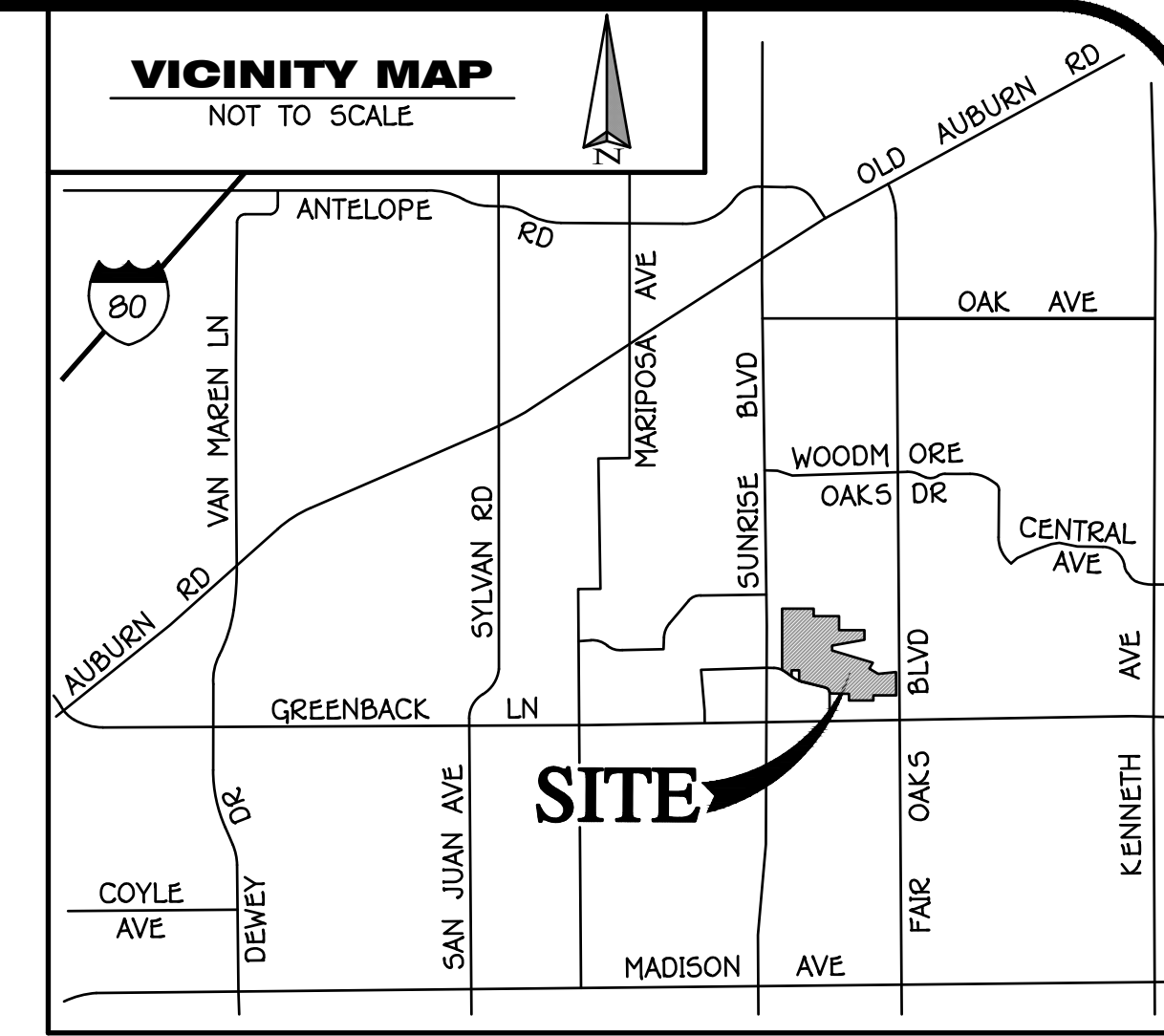
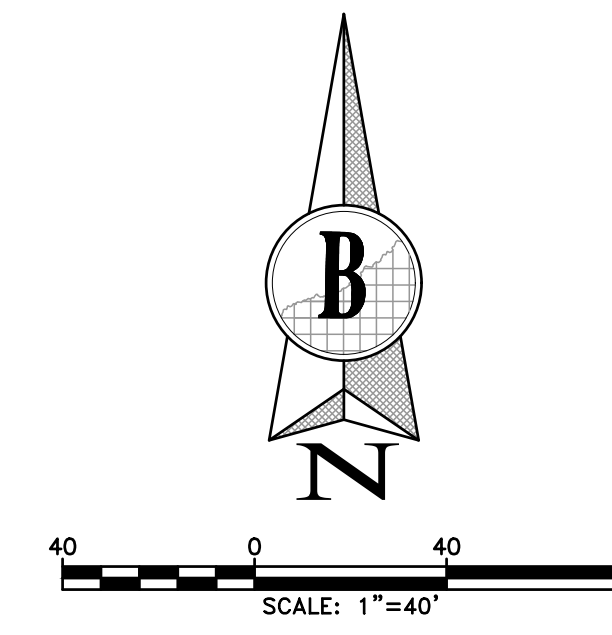
CALIFORNIA

EXISTING TREES NOTE:

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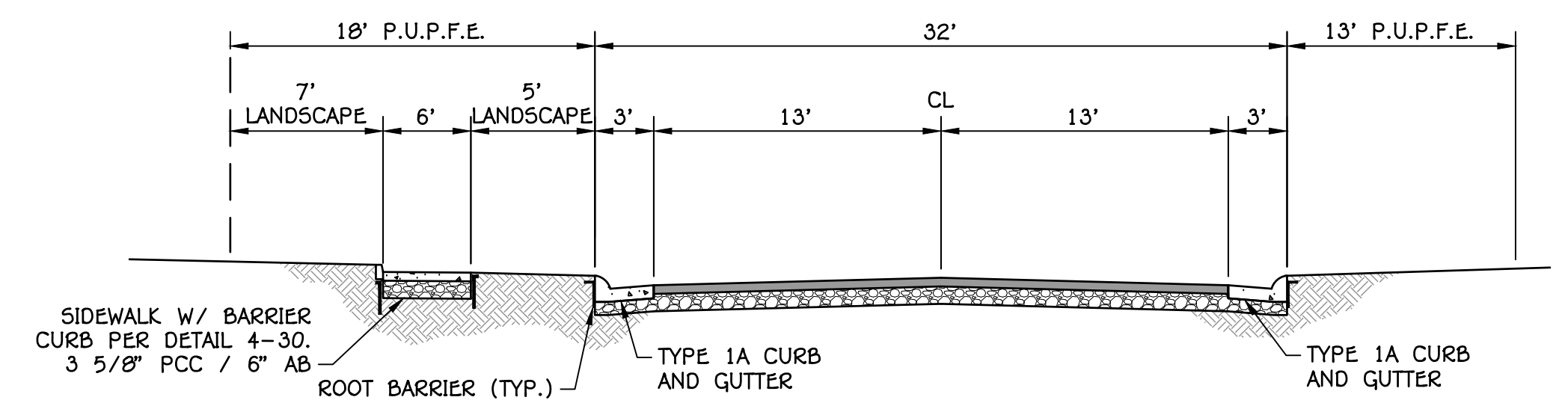
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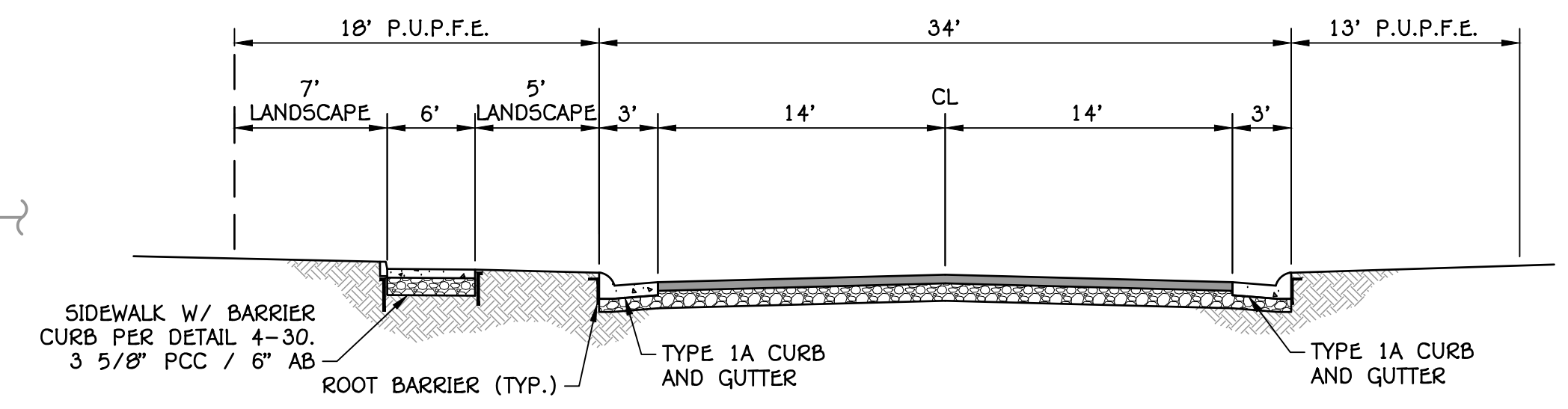
SEE SHEET 4)

SEE SHEET 2)



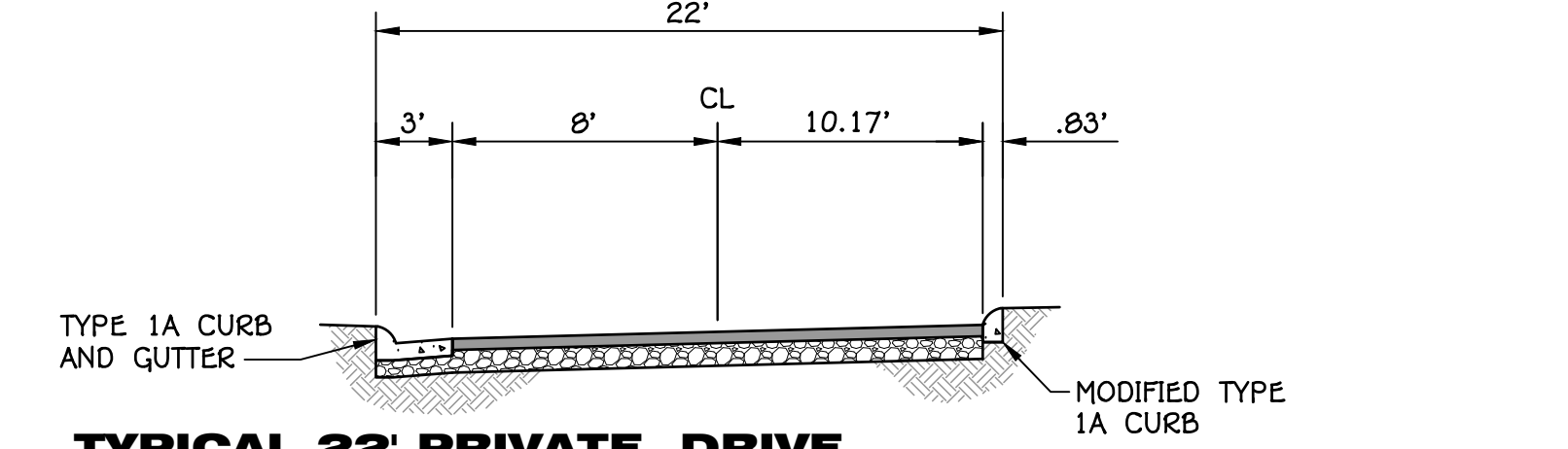
TYPICAL 32' ROAD SECTION

STREET "B", STREET "F", STREET "G", STREET "H", STREET "I", STREET "K" AND STREET "L" NTS



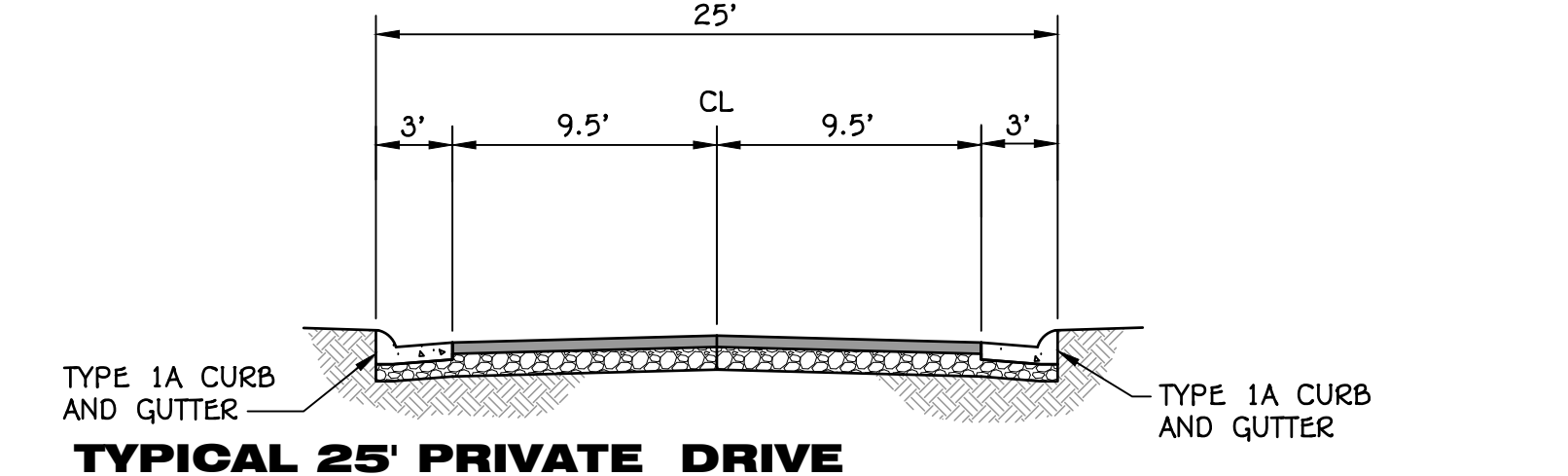
TYPICAL 34' ROAD SECTION

STREET "B", STREET "C", STREET "D", AND STREET "E" NTS



TYPICAL 22' PRIVATE DRIVE

LOT "E", LOT "G", LOT "I", LOT "K", LOT "M", LOT "Q", LOT "R", LOT "T", LOT "V", LOT "Y", LOT "Z", LOT "AB", LOT "AD", LOT "AF", LOT "AH", LOT "AI", LOT "AK", LOT "AL", LOT "AM" AND LOT "AN" NTS



TYPICAL 25' PRIVATE DRIVE

LOT "AN" NTS

TENTATIVE SUBDIVISION MAP FOR
MITCHELL FARMS
SHEET 3 OF 5



1001 Enterprise Way, Suite 100 Roseville, CA 95678 (916) 783-8898

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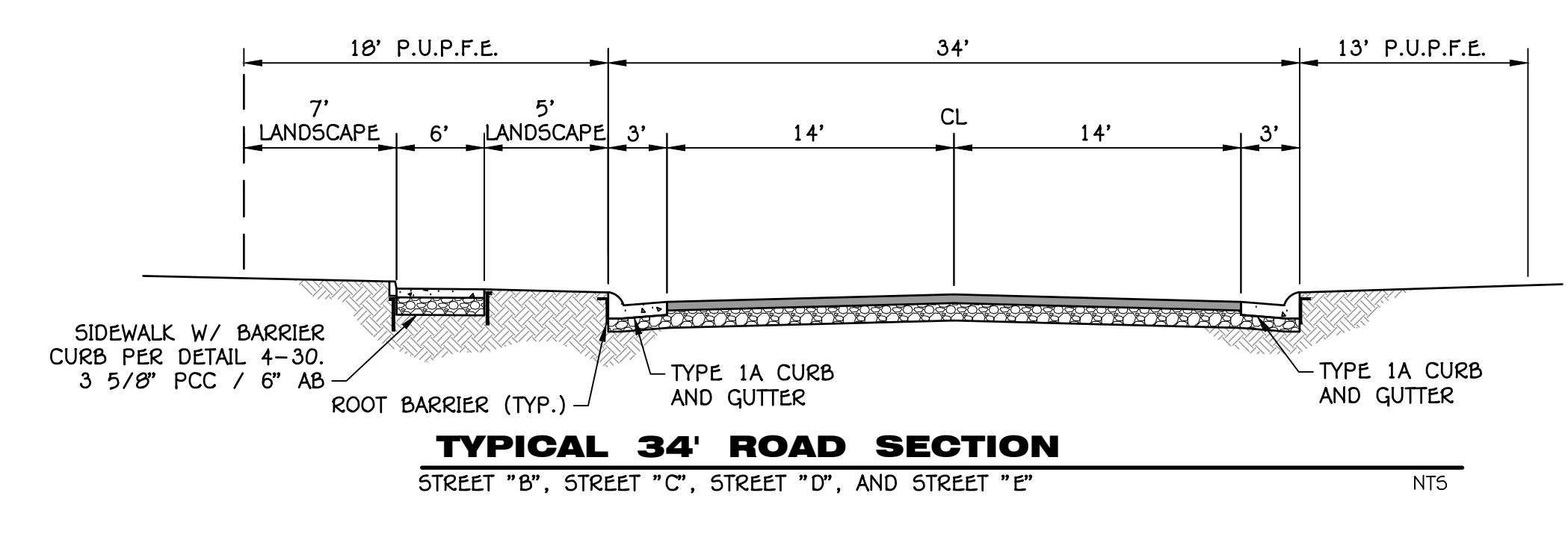
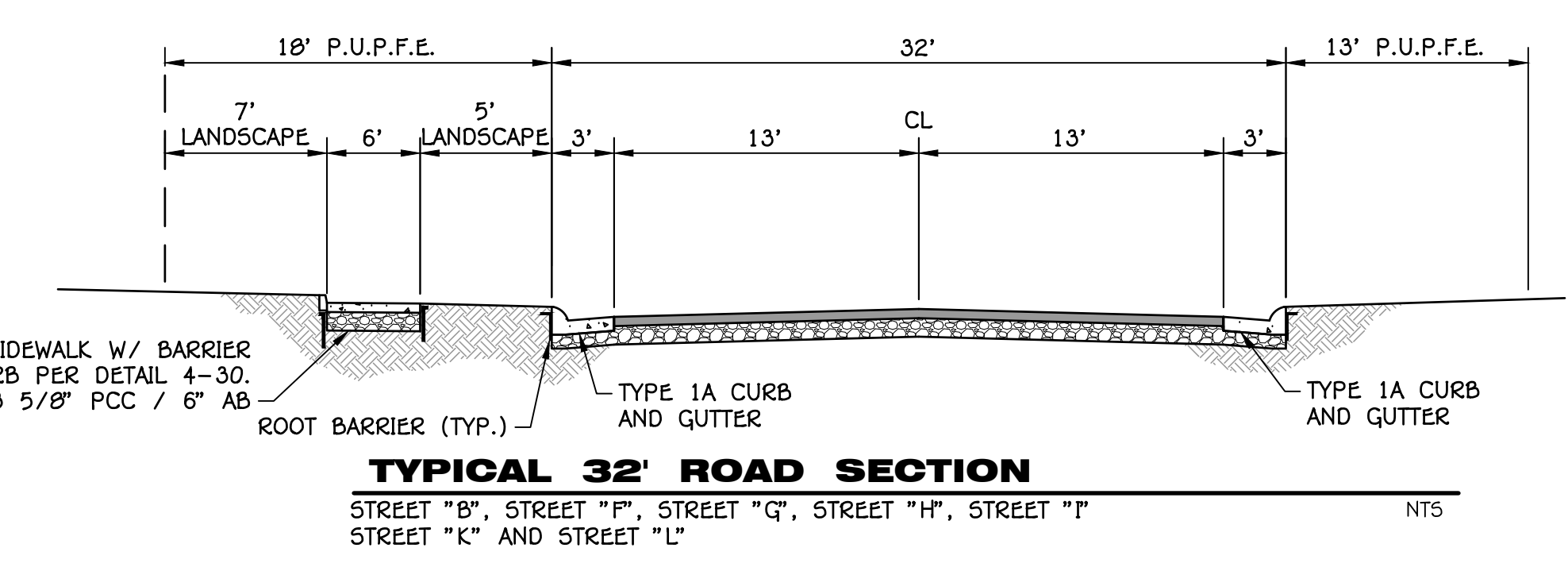
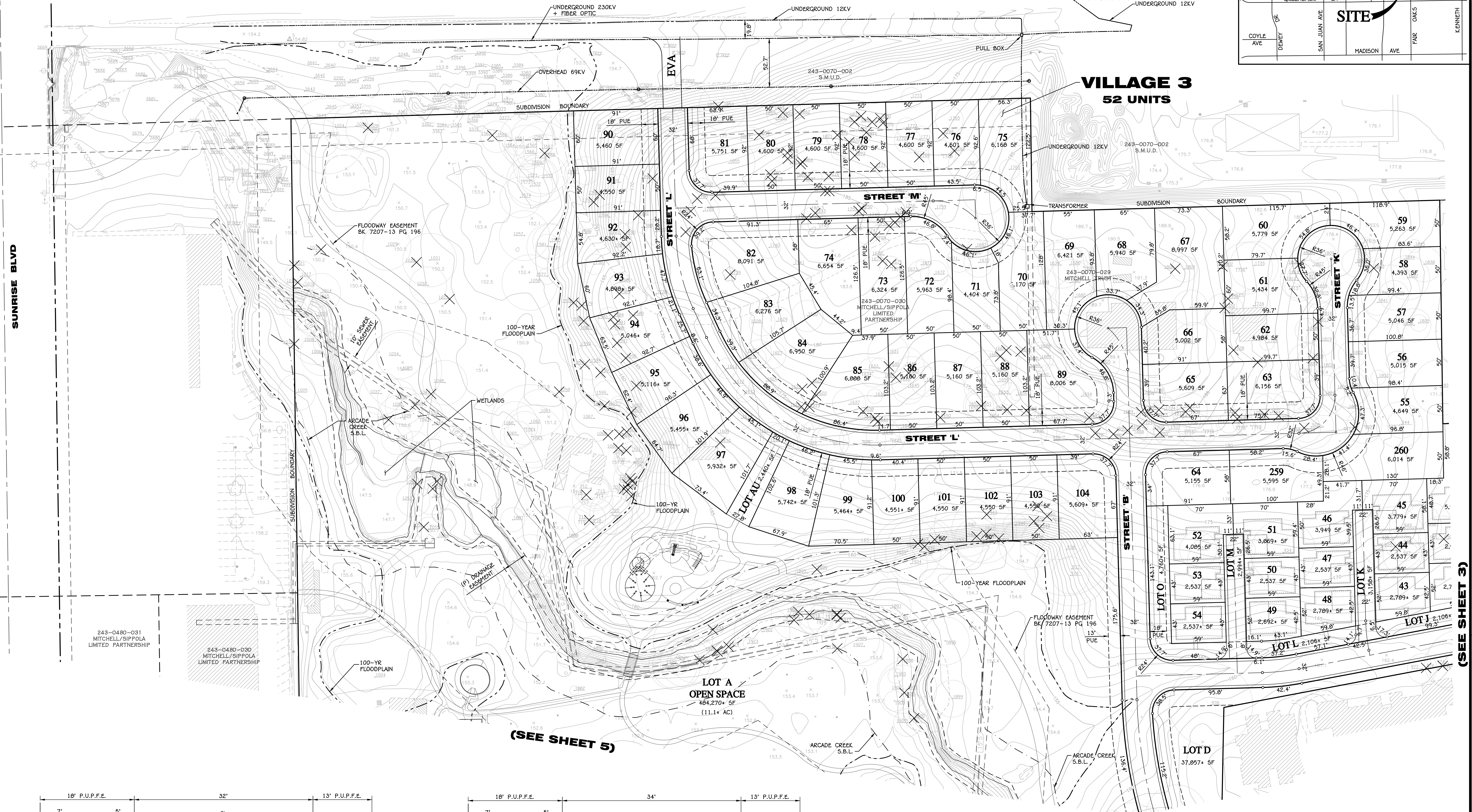
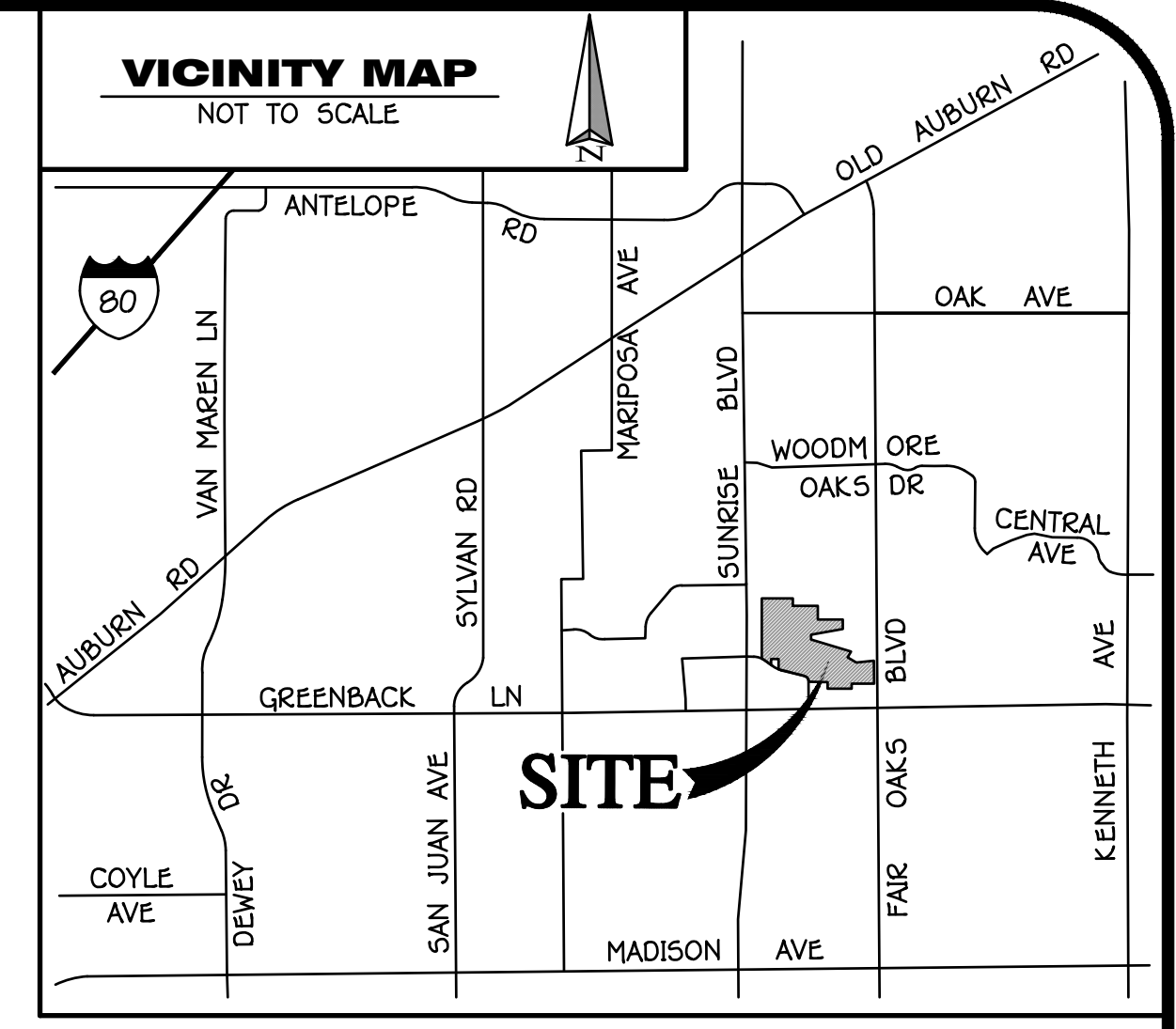
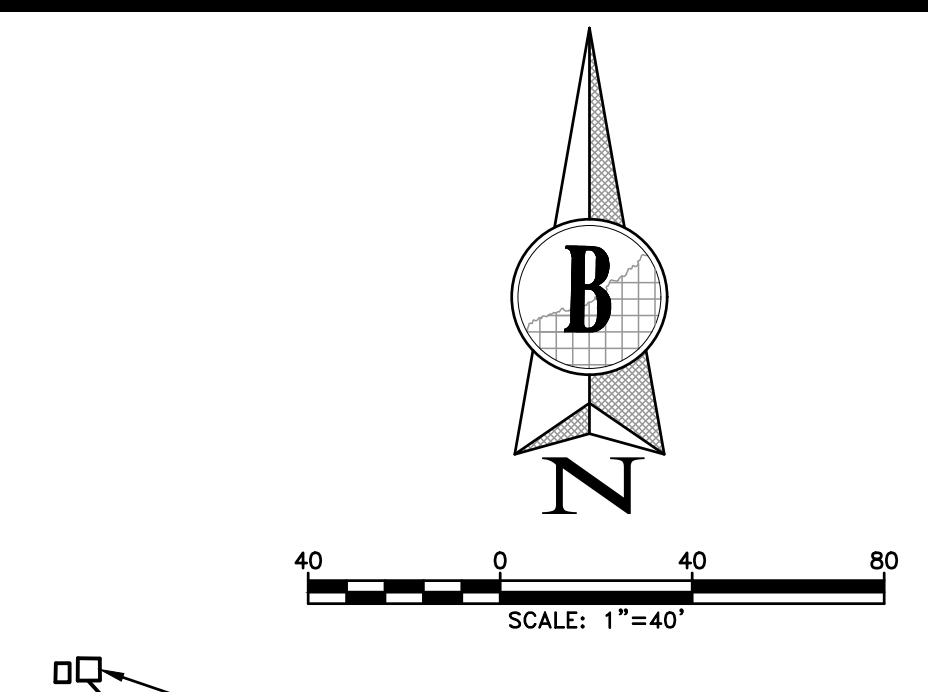
EXISTING EASEMENTS NOTE:

SEE EXISTING EASEMENTS EXHIBIT PREPARED BY BURRELL CONSULTING GROUP FOR IDENTIFICATION OF EACH EASEMENT SHOWN ON THIS TENTATIVE SUBDIVISION MAP.

TENTATIVE SUBDIVISION MAP FOR MITCHELL FARMS VILLAGE 3

CITY OF CITRUS HEIGHTS

CALIFORNIA



(SEE SHEET 2)

(SEE SHEET 5)

(SEE SHEET 3)

TENTATIVE SUBDIVISION MAP FOR
MITCHELL FARMS
SHEET 4 OF 5



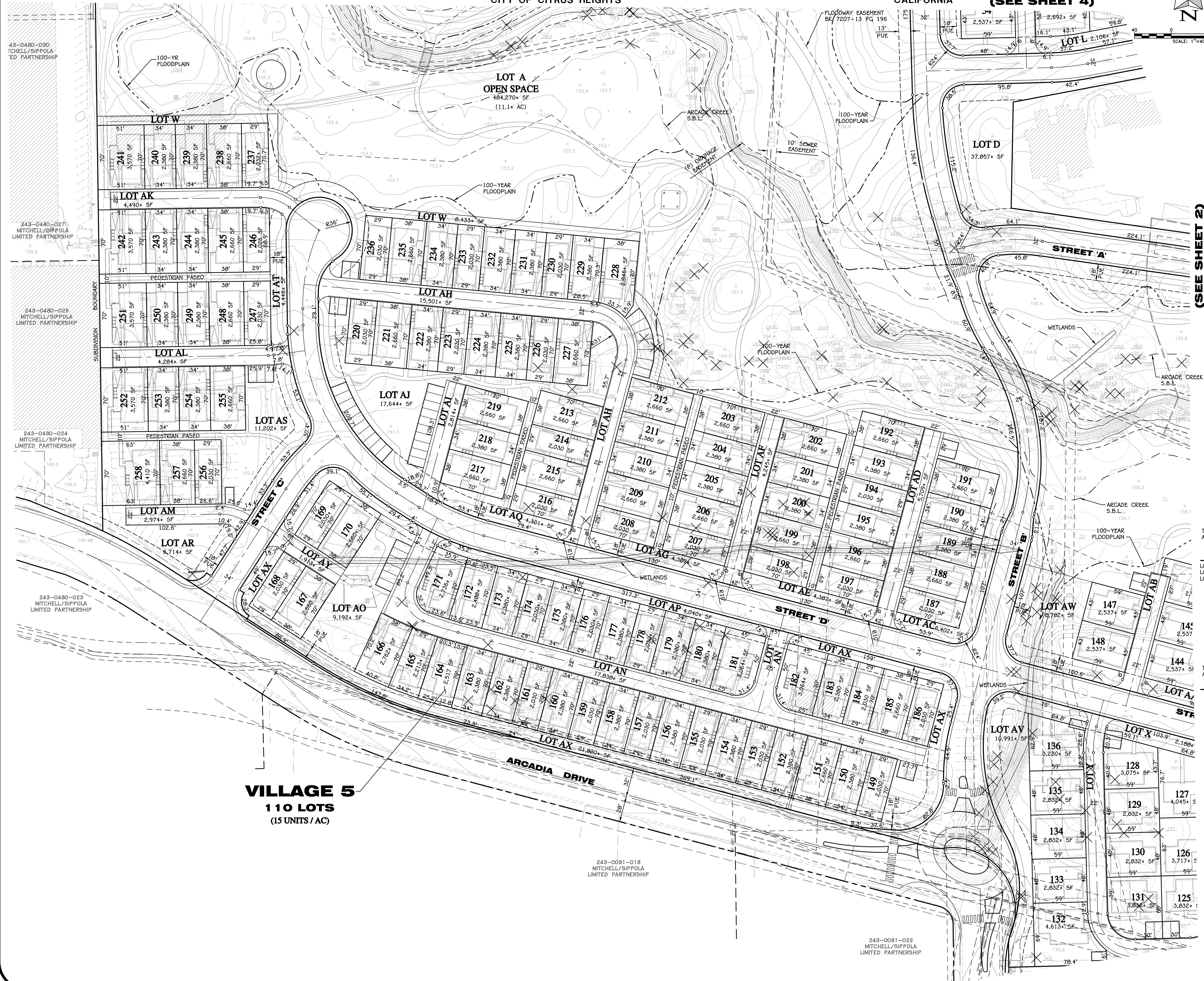
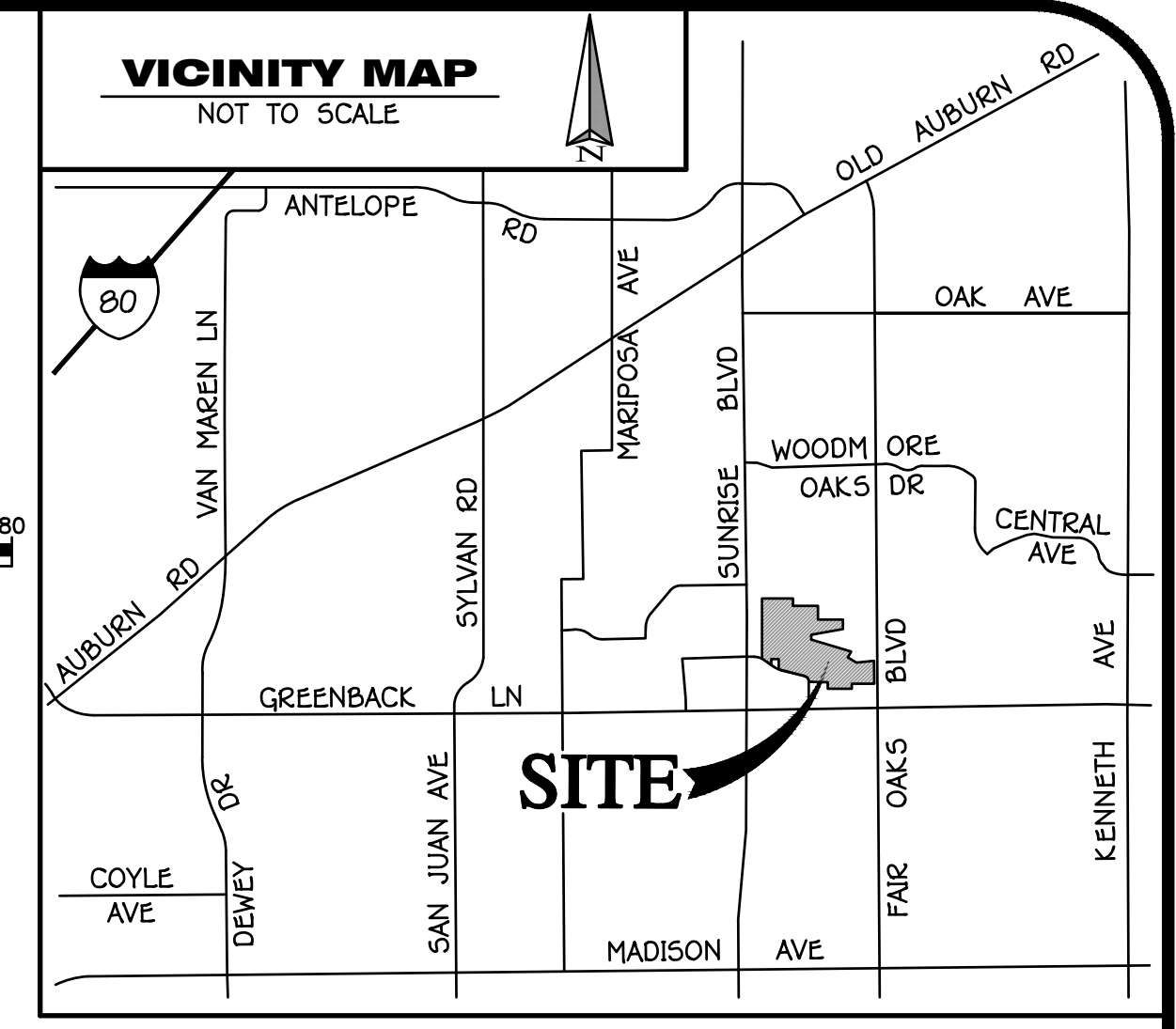
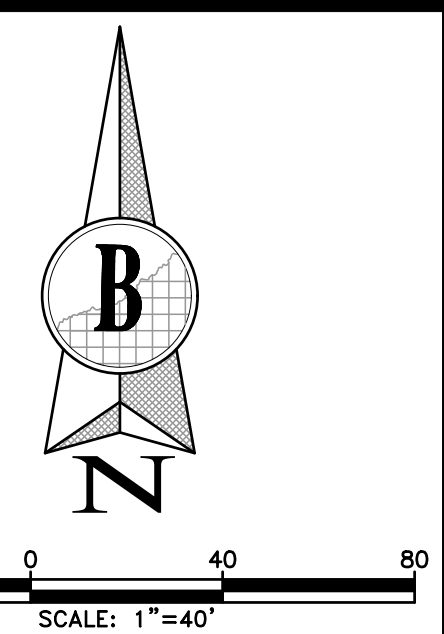
1001 Enterprise Way, Suite 100 Roseville, CA 95678 (916) 783-8898

VERTICAL CURVATURE: ALL CURVES SHALL BE GRADED TO PROVIDE A MINIMUM 1% GRADE TO THE OUTSIDE OF THE CURVE. ALL CURVES SHALL BE GRADED TO PROVIDE A MINIMUM 1% GRADE TO THE OUTSIDE OF THE CURVE. ALL CURVES SHALL BE GRADED TO PROVIDE A MINIMUM 1% GRADE TO THE OUTSIDE OF THE CURVE.

TENTATIVE SUBDIVISION MAP FOR MITCHELL FARMS VILLAGE 5

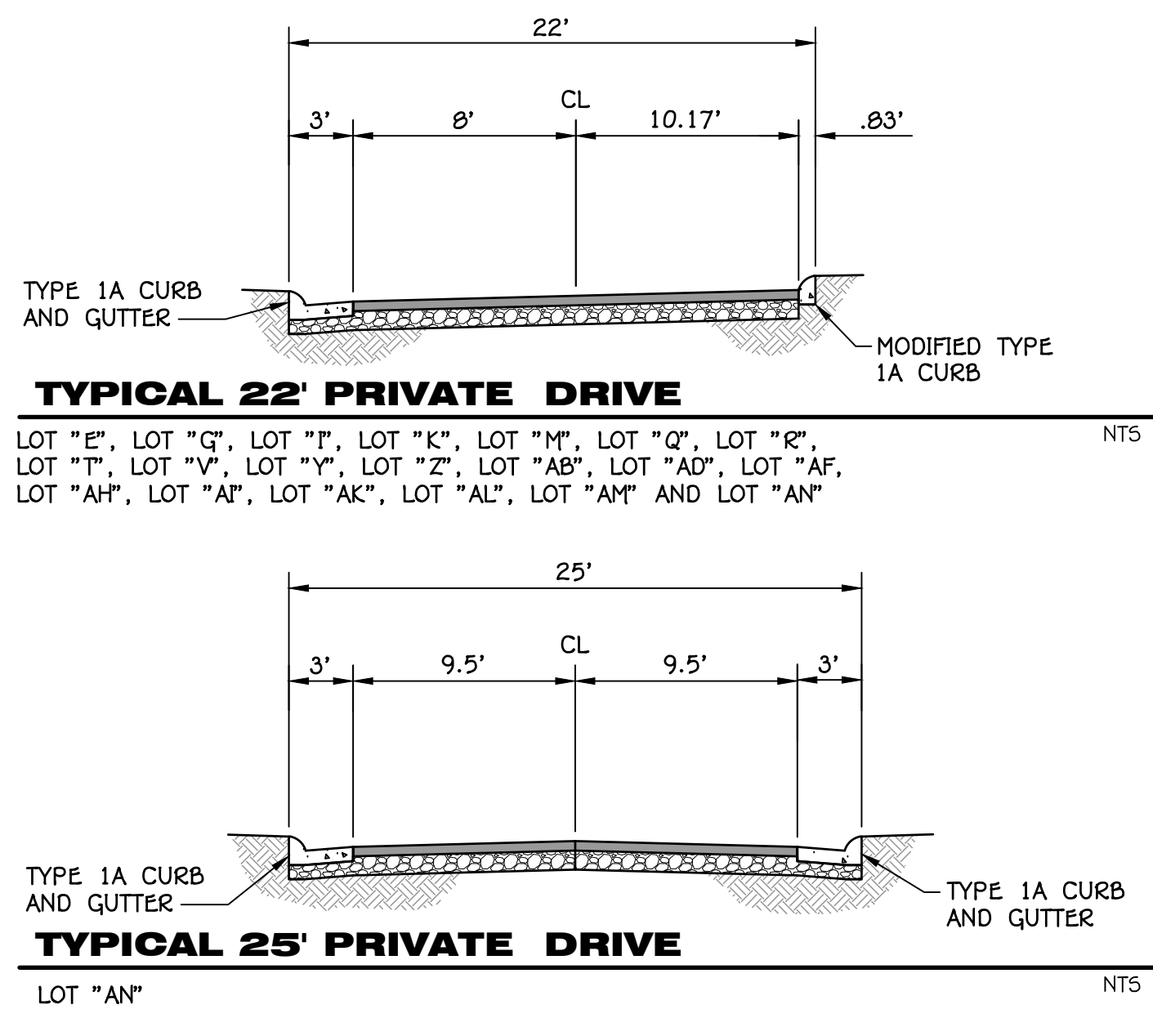
CITY OF CITRUS HEIGHTS

CALIFORNIA (SEE SHEET 4)



EXISTING TREES NOTE:
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**VILLAGE 5
110 LOTS
(15 UNITS / AC)**

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