

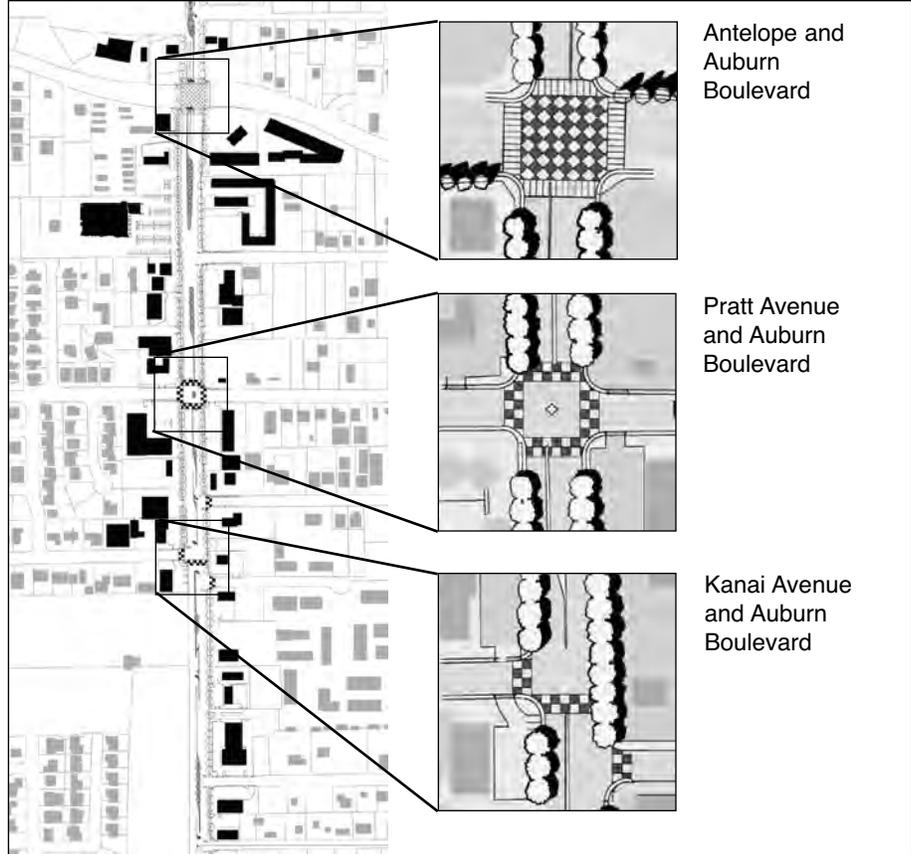
4.4 Lincoln 40 District

The Lincoln 40 District is a small-lot commercial area that has traditionally offered auto-oriented services that reflect Auburn Boulevard’s highway-era economy. The Lincoln 40 District celebrates Auburn Boulevard’s history as the former Lincoln Highway. This cross-national road connected Citrus Heights to other communities and today, the Boulevard historically reflects the commercial uses of the highway’s past. The district still features many “American Graffiti”-type uses including auto part sales and repair. This area is to continue to provide opportunities for small businesses while working to improve parking and pedestrian connections. The Boulevard Plan seeks to diversify the types of uses (e.g., restaurants, specialty garden supply stores, home furnishings and improvement stores, sporting goods stores) while reconnecting individual parcels and emphasizing pedestrian access and overall image enhancement.

The following guidelines are for the Lincoln 40 District. These guidelines provide the qualitative requirements for public and private investment in this area.



*Above:
This sketch of the Lincoln 40 District portrays the experience of walking along Auburn Boulevard. Ahead is a commercial building at the corner. To the left is a parking lot wrapped in commercial storefronts. Canopy trees are located in the planting strip along the Boulevard and a low shrub screen blocks view of parked cars.*



4.4.1 Lincoln 40 District Urban Design Principles and Guidelines

The Lincoln 40 District shall be developed as a distinctive and competitive address with an emphasis on making things better for pedestrians and enhancing connections to the surrounding community.

Lincoln 40 District Design Framework

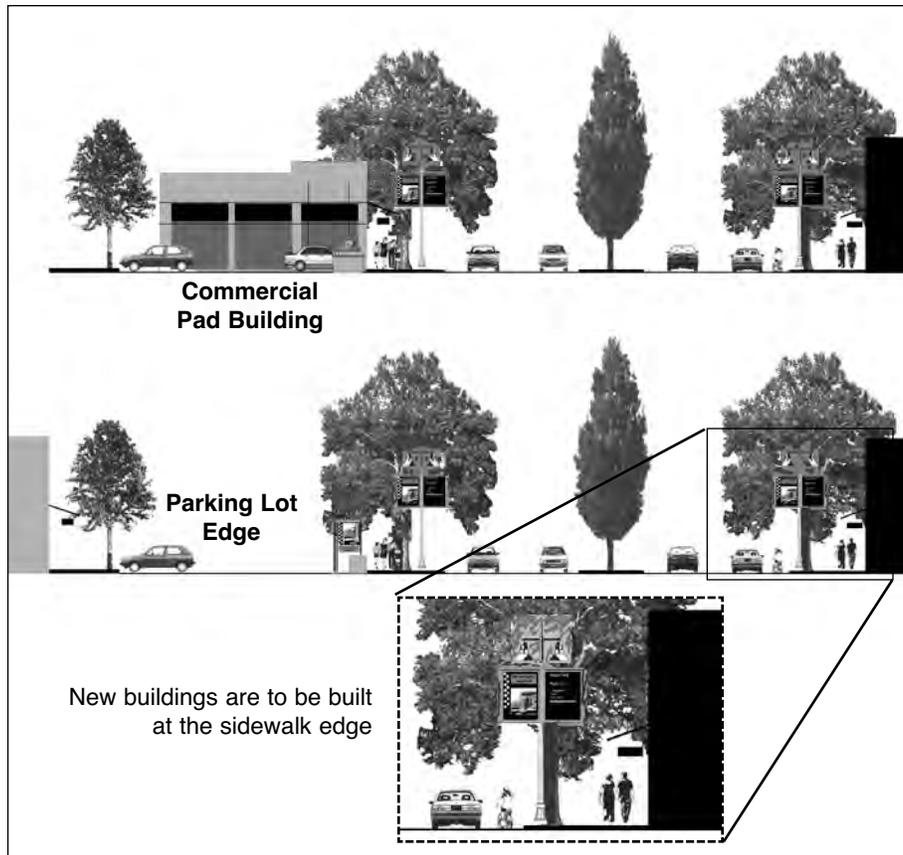
Renovated properties and new commercial buildings and centers shall be designed to reinforce planning and design objectives for the Lincoln 40 District an neighborhood.

- Renovated and new commercial buildings and centers shall be planned and designed so that the site plan and shape of buildings contribute to the district's identity. This could include consideration of the orientation of buildings, composition of roof forms, and architectural treatments.
- The frontage of Auburn Boulevard and connecting side streets shall be enhanced by the design of commercial buildings and centers. They shall improve streetscape, building edge and land use continuity.
- Building and parking setbacks shall be designed as an extension of the urban design concept for the district and neighborhood. This includes the depth, edge treatment, pedestrian facility and landscaping of setback areas.
- Building storefront edges shall connect to adjacent properties as part of a continuous pedestrian walkway system.
- Renovated and new commercial buildings and centers shall have signage and graphic identity concepts that support both project and district planning and economic objectives.



Above:
Example of boulevard landscaping is seen above.

Below:
These two sections indicate variations in street edge conditions that would be found along Auburn Boulevard in the Lincoln 40 District. The top section shows a commercial pad building and storefront condition. The lower section shows parking lot and storefront conditions. Both sections assume curb cut consolidation with inter-parcel driveway connections.



Street Sections

1. Auburn Boulevard: Pad and Storefront Edge

- 94' ROW
- Median planting
- Consolidated curb cuts
- Pad buildings and storefronts along sidewalks
- 5'-15' setbacks for buildings
- 5' landscape screen along parking lot edges
- 1-2 stories

2. Auburn Boulevard: Parking Lot and Storefront Edge

- 94' ROW
- Median planting
- Consolidated curb cuts
- Pad buildings and storefronts along sidewalks
- 5'-15' setbacks for buildings
- 5' landscape screen along parking lot edges
- 1-2 stories

Design Guidelines

Lincoln 40 District Roadway Design and Streetscape

Landscape and signage for every project shall contribute to the implementation of streetscape principles and concepts for the Lincoln 40 District.

- Renovated and new commercial buildings and centers shall have an interconnected system of roadways, pedestrian walks, and sidewalks. This system shall connect to the district and neighborhood.
- Commercial buildings and centers shall possess an overall landscape and streetscape concept plan. The plan shall reinforce the placemaking, connections, and shopping environment objectives for the project and district.
- Projects shall provide an overall street lighting and furniture concept plan that is coordinated with Auburn Boulevard streetscaping. The plan shall identify types and location of lighting fixtures and furniture. The lighting and furniture shall be a coordinated design “family” with color and style that complements site and architectural concepts.
- Roadway and street design shall incorporate various methods of traffic calming to support pedestrian circulation objectives. This could include changing paving materials in crosswalks.

Lincoln 40 District Building Setbacks and Alignments

New buildings in the Lincoln 40 District shall have setbacks that support streetscape, circulation and image objectives for the district.

- New buildings and centers shall be designed so that building edges align with adjacent projects and sidewalks so that they support overall urban design objectives for the district and shape and activate spaces and streetscapes.
- Buildings shall be sited and designed to reinforce the pedestrian experience. Building edges shall be transparent and provide a visually interesting shopping experience for pedestrians.
- Building setbacks shall contribute to overall streetscaping concepts for the district. The setbacks shall be sized to support the size and spacing of trees and visual continuity of the district.
- When necessary, setbacks shall provide for landscape screening of parking and loading areas. This could include trees, shrubs, or trellis.

Lincoln 40 District Building Edges and Storefronts

Building edges and storefronts shall be planned and designed to be an integral part of the district’s pedestrian system.

- Whenever possible, new development shall be located at the sidewalk edge to enhance the pedestrian experience.
- Building edges shall contribute to a safe, comfortable and interesting pedestrian shopping experience. At least eight (8) feet of unobstructed sidewalk shall be provided along storefront edges.
- Display windows shall comprise at least 33 percent of the width of the facade that faces a public street. When large blank walls are unavoidable, they shall be articulated with three-dimensional elements, such as planters, and soften with vines and shrubs.
- New and renovated commercial buildings and centers shall have a system of connected storefronts and entries. Sidewalks, streetscape and building edges shall be designed in a coordinated fashion.
- Building edges and storefronts shall be designed to reflect both auto-oriented and pedestrian-oriented merchandising needs of the tenants and



*Above:
The roadway project and consolidation of driveways allows the planting of trees and widening of the sidewalks providing a shady and safer walking experience along the boulevard.*

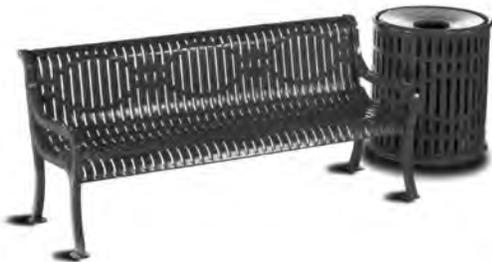
district. Pedestrian comfort shall not be sacrificed by an auto-oriented design approach.

- Corner and mid-block pad buildings shall be oriented toward the street. Drive-thru windows and parking shall not isolate the building from the sidewalk or connecting walkways.

Lincoln 40 District Parking Lots and Driveways

In order to provide interconnectivity between sites, parking lots and driveways shall be planned to reduce the number of curb cuts and designed to support pedestrian, safety, connections and comfort.

- New and renovated commercial buildings and centers shall be planned to reduce the number of curb cuts and driveways. Projects shall share driveways and parking access with adjacent sites to provide an interconnected system of auto and service access points.
- Projects shall have a hierarchy of primary and secondary drives and roads. Primary driveways shall be designed as streets. This includes designing pedestrian sidewalks, streetscape and lighting to improve wayfinding, reinforce site design and pedestrian connection concepts.
- Parking lots and driveways shall provide pedestrian connections to store-fronts. Dedicated walkways through parking lots and sidewalks shall be included in the design of access roadways.
- Traffic calming techniques shall be employed in parking and driveway areas to support pedestrian circulation concepts.
- Parking lots shall include shade trees. There shall be a minimum of one tree per six (6) parking spaces. Tree selection, planting approach and irri-



Tree List

1. Auburn Blvd. Street Tree:

London Plane Tree, Ht. 40'-80', Sp. 30'-40'. Deciduous.

2. Median:

Upright English Oak, Ht. 30'-50', Sp. To 15'. Deciduous.

3. Antelope Accent:

Upright English Oak, Ht. 30'-50', Sp. To 15'. Deciduous.

4. Trash receptacle and bench

Design Guidelines

gation shall provide for rapid growth and sustained health of shade trees. Small ornamental trees are appropriate for accent planting but shall not be used shade trees. Parking lot trees shall be spaced and selected so the canopy covers at least 50 percent of the paved area within 10 years.

- Service windows and stacking lanes for drive-thru business shall not face public streets.

Below:

This pharmacy franchise is located along a busy boulevard street. It orients its entry and storefront edge towards the street and sidewalk.



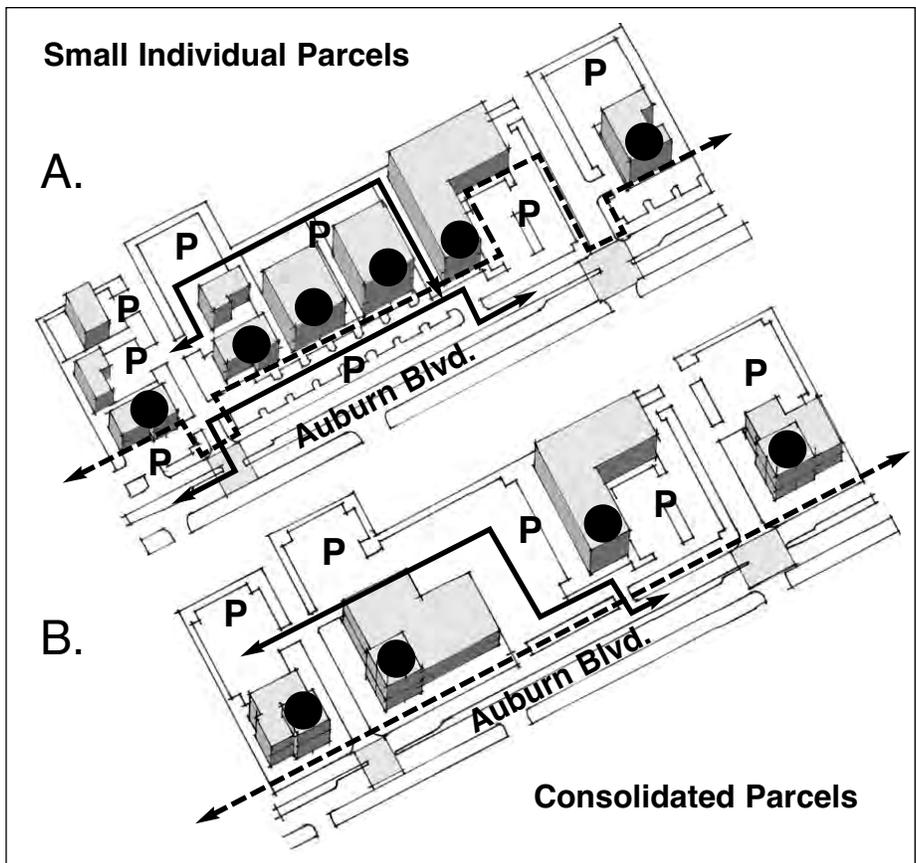
Right:

This illustration shows how consolidation of curb cuts would be accommodated. Drawing A shows how a series of small parcels could be connected by sharing driveways and pedestrian edges. Drawing B shows the same area with larger consolidated parcels with buildings located along the sidewalk.

Lincoln 40 District Landscaping

Landscape design shall be a defining feature for every project that contributes to the community's health, image, and pedestrian comfort.

- The design of landscaping for commercial projects shall reduce the creation of heat islands. Landscaping shall provide softscape areas in place of paving and provide shade. All site areas not covered by structures, walkways, driveways and parking shall be landscaped.
- New and renovated commercial projects shall use landscaping to reinforce overall site and architectural design concepts for the project and surrounding neighborhood. This includes a hierarchy of canopy trees, accent/flowering trees, shrubs and groundcover. Generally, drought tolerant planting shall be used. Irrigated planting shall be used strategically where a small amount of color and character can make the best contribution to the project.
- Special hardscape, such as pavers, stained concrete, and stone, shall be used to identify pathways and gathering places in projects.
- Landscaping shall be used to enhance and soften screening of loading and parking areas. It shall also be used to help frame views and edges.



KEY

Business Entry ●

Walking Edge - - - - -

Connected Driveways ————

Parking Lot P

- The landscape plan shall identify locations and infrastructure support (i.e., lighting, power, water, etc.).

Lincoln 40 District Integrating Transit

New commercial development and renovation of existing centers and buildings shall be planned and designed to facilitate access to transit.

- New and renovated commercial projects shall be clearly connected to transit services. Sidewalks shall provide direct access to transit stops. Special considerations for patrons shall be taken in to account, such as shopping cart storage near bus stops.
- Transit stops shall be conveniently and centrally located. They shall be easy to find and collocated with commercial services and amenities.
- Transit stops and connecting pedestrian routes shall be well lit and visible.
- Bicycle parking shall be designed into the site plan of every project.

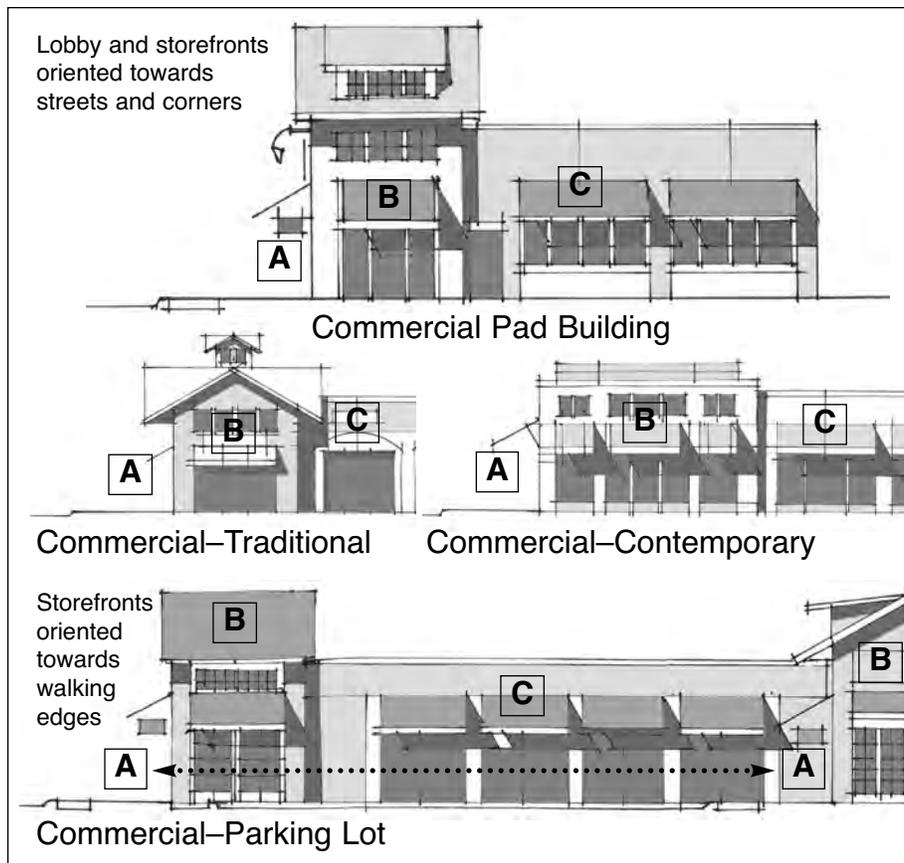
Lincoln 40 District Transition to Residential Areas

New and renovated projects shall be designed to enhance adjacent residential neighborhoods. Projects shall be designed to reduce the visual, noise and use impacts on adjacent residential areas.

- New and renovated commercial projects shall enhance the connections to Auburn Boulevard. They shall provide streetscape, sidewalks, building setback and storefront design that link residential streets to Auburn Boulevard. Residents should be able to walk a direct route from their

Below:

This commercial pad building with a restaurant chain tenant is located at a busy intersection. It has a corner entry, outdoor seating and storefronts that address the sidewalk.



Commercial Pad Buildings

- A. All commercial buildings should face the street
- B. Building corners and street edges should have architecture features to add interest and scale
- C. Transparent storefronts and awnings along sidewalks and walking routes should connect the pad to adjacent buildings

Commercial Architecture

- A. Storefront street edge
- B. Architectural theme elements
- C. Transparent storefronts and awnings or canopies

Commercial Facing Parking Lots

- A. Commercial center should have storefront edges along walkways
- B. Building corners and street edges should have architecture features
- C. Transparent storefronts and awnings along sidewalks and walking routes should wrap parking lots and connect the center to adjacent buildings and parking

Architectural Features

Design Guidelines

- homes to commercial center stores without traversing parking lots.
- New and renovated commercial projects shall provide a site plan that supports the design and pedestrian access objectives for contiguous residential streets.
- New projects shall respect the scale and proximity of adjacent residential neighborhoods by reducing building height, increasing setbacks, and providing a more friendly building orientation.
- Placing loading and service areas adjacent to residential areas is discouraged. Site circulation routes and loading areas shall be screened and set back from residential areas.
- Where screening walls are required, they shall be designed as a natural extension of the architectural and landscaping concepts for the project. Screen walls shall:
 - *Be constructed of permanent, durable, and high quality building materials including architectural concrete block, cement plaster finish, or otherwise reflect the design and materials of the surrounding buildings;*
 - *Have vertical and horizontal reveals, accents, and other details;*
 - *Include climbing vines or ivy planted along the wall base; and*
 - *Restricted to eight feet in height.*

4.4.2 Lincoln 40 District Commercial Architectural Design Principles and Guidelines

New projects and renovation of existing buildings shall contribute to the design objectives for the Lincoln 40 District.

Lincoln 40 District Architectural Design Concepts

Every renovation and new commercial project shall pursue architectural themes that are compatible and further the image and economic goals for the district and adjacent neighborhoods.

- For multi-tenant buildings, design themes shall express tenant spaces, bay sizes, roof elements, and other features shall be expressed as design opportunities.
- New and renovated commercial projects shall strive to introduce new design themes and concepts emphasizing pedestrian comfort and interconnectivity.
- New or renovated freestanding commercial pad buildings shall be designed to blend the merchandising needs of the tenant as well as the image objectives for the district.
- Renovated or new commercial projects in a residential context shall reflect the architectural traditions, scale, and character of the adjacent neighborhood.

Lincoln 40 District Building Form and Massing

Building massing and orientation shall result in a pleasing and coherent composition of building elements and spaces.

- Projects located at key intersections shall be designed to reflect their visual prominence. Taller corner elements, roof forms, and building entries shall orient toward the corner.
- The placement and shape of buildings shall support placemaking objectives for the district. Buildings shall shape, enclose, and define spaces, streets, and pedestrian edges.



*Above:
These retail buildings include tall corner design features at corners.*

- A coherent family of roof forms shall support urban design and site concepts. This could include creating gateway elements or reducing the scale of large buildings to better fit a fine-grained commercial or residential context.
- Roof forms or parapets shall be continuous, not superficial forms limited to the most visible areas.
- The massing of commercial centers shall result in well-proportioned buildings. Bay spacing, horizontal and vertical rhythms shall have a pleasing composition.
- Long, unbroken blank walls are discouraged. Every side of buildings shall have a similar approach to design and detail.
- Corner bay articulations, stepping and varying wall planes, raising and lowering parapet walls, and trellises can be used to reduce the visual monotony of buildings. Mixing one and two-story forms is strongly encouraged as a way to increase visual interest.
- Canopies, arcades and other architectural treatments can be added to buildings to give tall walls a pedestrian-friendly scale.



Above:
This multi-tenant commercial center's sign is integrated into the landscaping and site design concept.

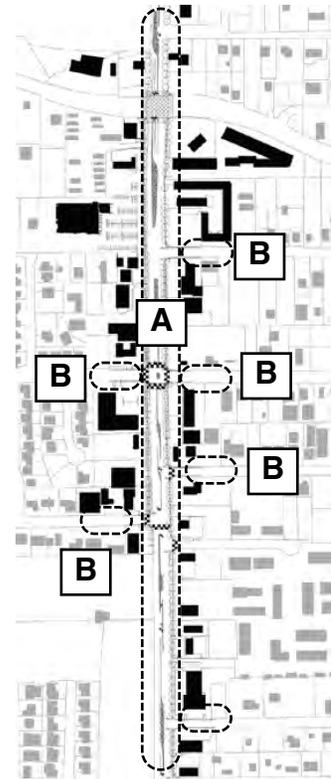
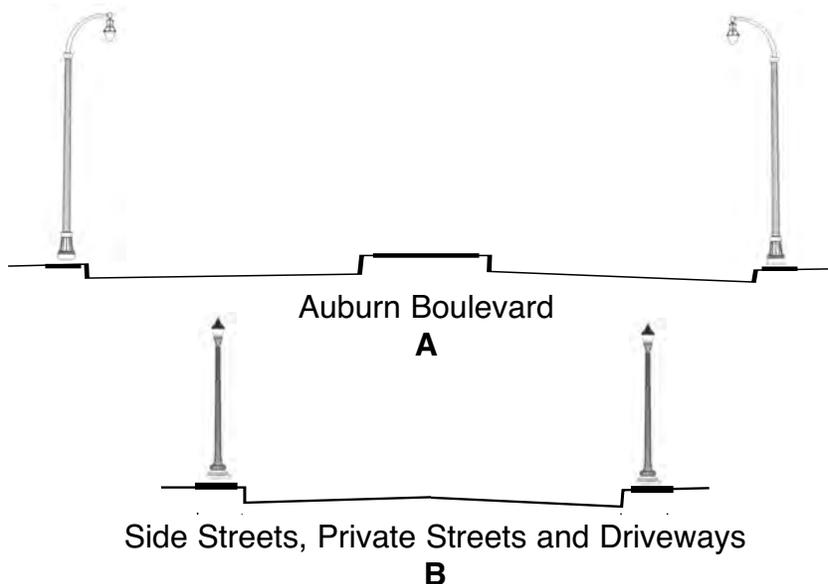
Lincoln 40 District Architectural Features

The architectural design of commercial projects shall have design elements that establish appropriately-scaled buildings and frontages within the district.

- Franchise architecture, such as pseudo-historic styles or “trademark” roof shapes, which sacrifice the integrity of a project or the ability of a district to promote a single tenant, is strongly discouraged.
- The composition of building elevations shall elaborate on massing and urban design objectives for the district.

Right:
This photograph is of a boulevard street with drop lights and banners to add to the district's identity.

Below:
Drop lights (A) on tall poles would be used throughout the district. Pedestrian-scaled lights (B) are used on side streets and driveways.



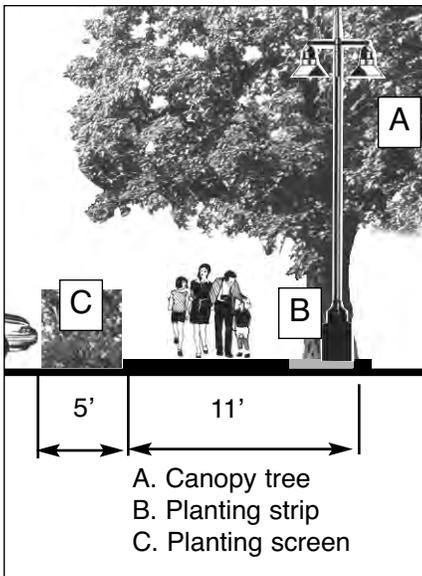
Design Guidelines

- Renovated and new commercial projects shall employ architectural concepts that have a unifying design forms, architectural elements, details and materials. All facades of buildings shall draw on the same vocabulary.
- Integrated base wainscoting, cornices, canopies, awnings, brackets and other design features that add a finer grain of detail and design are encouraged.

Lincoln 40 District Materials and Colors

Selection of materials and finishes for new and commercial renovation projects shall be of high quality and reinforce overall image and massing concepts.

- Architectural materials shall convey an image of quality and durability. Certain materials have an inherently inexpensive, insubstantial, or garish quality. These materials shall not be used in new construction or renovation:
 - *Roofing materials—composite shingles, glazed or painted tiles, highly reflective metal or other sheet material*
 - *Wall materials—vinyl, metal, T-111, masonite, plywood or other sheet materials*
- Materials shall reinforce and enhance architectural concepts.
- Visible roofs shall be clad in clay or concrete tile.
- Walls shall be clad in plaster, brick, tile or wood. Wood or hardboard siding shall be shiplap or board and batten.
- Shiplap shall be installed so there are no visible joints and board and batten installed without visible joints of underlying board material.
- Accent materials may include stone, anodized or thermoacrylic materials, or wood with a minimum nominal dimension of 2 inches.
- Faux-styles (fake) are discouraged. When buildings are designed with obvious references to a period style, materials shall be consistent that period or style.
- Loud colors, materials and signs are discouraged.
- Ground floor storefront display windows shall be clear glass. Windows on upper floors may be lightly tinted, but shall not be reflective.



*Above:
This section shows a parking lot edge in the Lincoln 40 District. It includes a planting strip and canopy tree, continuous sidewalks and planting screen along parking lot edges.*

Lincoln 40 District Lighting

Lighting shall be an integral part of the planning and design of commercial projects anticipating the needs of shoppers, businesses, and adjacent residential areas.

- Lighting in renovated and new commercial projects shall be limited to levels adequate for public safety.
- Lighting in service areas shall be the minimum required for operation, and be designed to minimize visibility of those areas.
- Low, pedestrian-scaled lighting fixtures are encouraged to help identify and light pedestrian routes.
- Light fixtures shall be shielded to reduce light sources and prevent them from being visible from outside the site.

Lincoln 40 District Service Areas

Service facilities shall be concealed from public view.

- Trash bins and compactors, utility meters, transformers, and other service elements shall be enclosed or otherwise completely concealed from view. Service elements shall be designed as an integral element of a commercial project's architecture.
- Services and equipment shall be enclosed or buried, or otherwise concealed from view.
- Roof-mounted equipment shall be concealed by enclosures that are consistent with the existing design.

4.4.3 Lincoln 40 District Commercial District Signage

Signage shall contribute to the graphic identity and wayfinding objectives for the Lincoln 40 District while reinforcing the project's architectural and site planning concepts.

Lincoln 40 District Signage

Signage identifying shopping and commercial districts shall support both wayfinding and graphic identity objectives.

- District image and design shall be reflected in district-wide signage themes.
- Median, monument, and other district identity and wayfinding signage shall be designed and located as part of an overall district signage plan.

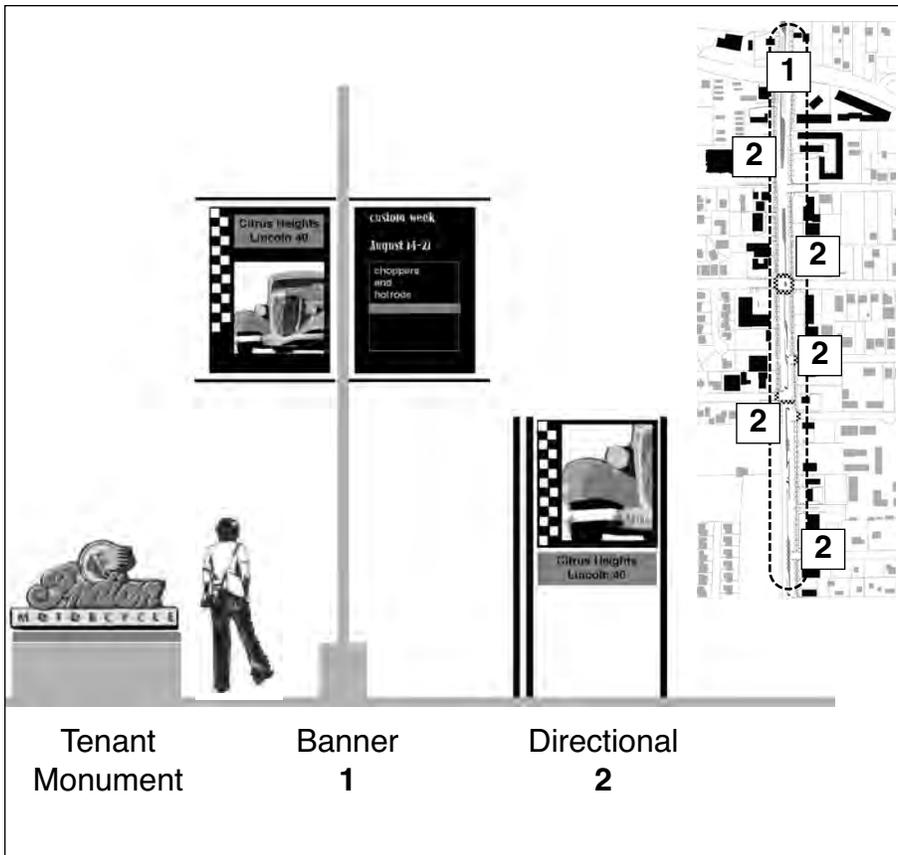
Lincoln 40 District Signage for Multi-tenant Projects

For commercial development with multiple tenants, signage shall have a unified design.



Above:
This suburban commercial center has outdoor seating, blade signs, and canopies that make walking along the building edge a pleasant experience.

Left:
The guidelines call for three types of signs in the Lincoln 40 District. Monument signs for tenants are allowed at consolidated curb cut and shared auto entries; banners on the taller street lights are to be included; and district entry signs are to be located at key intersections in the district.



Signage